

KONA COMMUNITY HOSPITAL EXTERIOR BUILDING REPAIRS & UPGRADES BID SET

Kona Community Hospital Project Number: 26-0034



FERRARO CHOI
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03/27/2026
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(SEC. 16-116.9 DEPARTMENT OF COMMERCE AND CONSUMER AFFAIRS)

PROJECT INFORMATION

PROJECT NAME: KONA COMMUNITY HOSPITAL - EXTERIOR BUILDING REPAIRS & UPGRADES

OWNER: HAWAII HEALTH SYSTEMS CORP.
3675 Haukapila St, Kealahou, HI 96813

PROJECT ADDRESS: 79-1019 HAUKAPILA STREET, KEALAKEKUA, HI 96750

SUMMARY OF WORK: NEW LOW SLOPE ROOFING, REFINISHING OF METAL ROOFS AND REPAIR AND REFINISHING OF EXTERIOR WALLS.

ZONING CODE SUMMARY

APPLICABLE ZONING CODE: HAWAII COUNTY CODE 2016 EDITION w/ AMENDMENTS EFFECTIVE 12/24/25; CHAPTER 25

TAX MAP KEY: 7-9-010: 081

STATE LAND USE: U-URBAN

SPECIAL DISTRICT: N/A

SMA: NOT IN SMA

ZONING DISTRICT: A-5A

SPECIAL PERMITS: N/A

PROPOSED USES: HOSPITAL

LOT AREA: 12.075 ACRE / 525,987 SQF

FRONT YARD SETBACK: 25 FEET

SIDE YARD SETBACK: 15 FEET

BUILDING HEIGHT LIMIT: UP TO 100 FEET W/ APPROVAL

FLOOD ZONE: ZONE X

PARKING REQUIREMENTS: 1 PER BED

BUILDING CODE SUMMARY

BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE AS AMENDED BY THE STATE OF HAWAII

TYPE OF CONSTRUCTION: IA

OCCUPANCY GROUP: I-2

NUMBER OF STORIES: 3

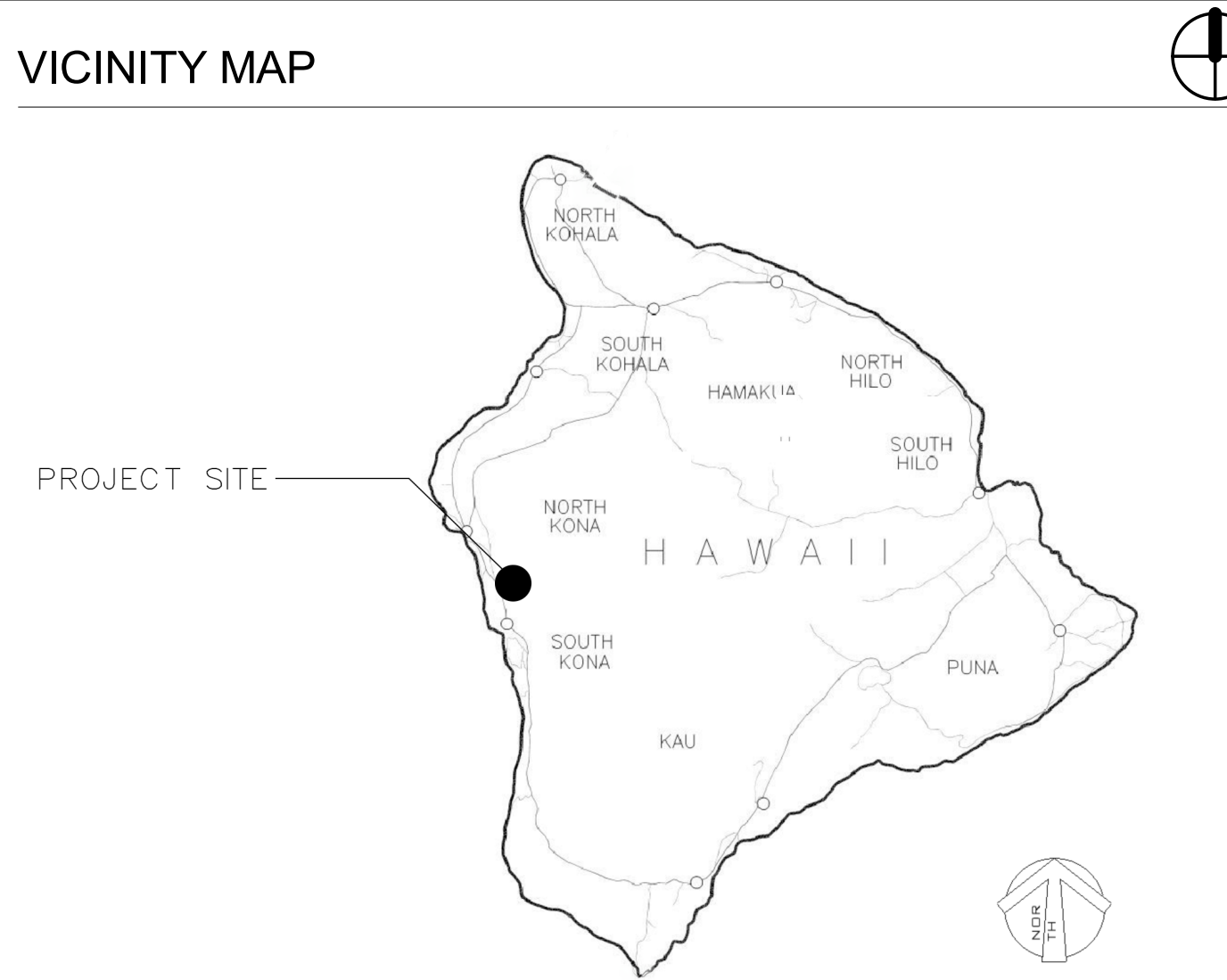
FIRE SPRINKLER: FULLY SPRINKLERED

ALLOWABLE FLOOR AREA: UNLIMITED

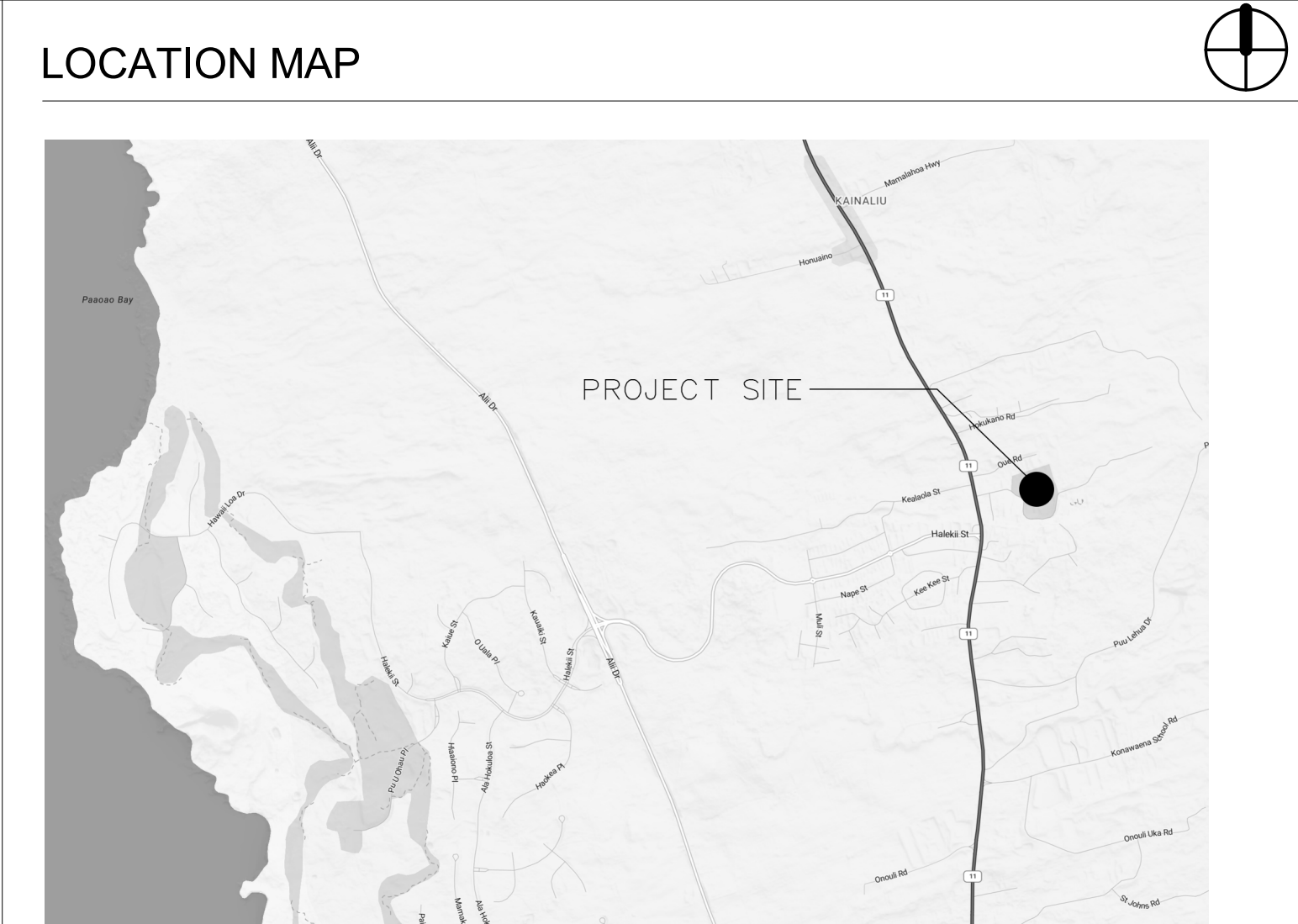
TOTAL PROJECT AREA: 48,482 SQAURE FEET

ACCESSIBILITY STATEMENT: CONFORMANCE WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS OF THE 2010 AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES ADMINISTERED BY THE DEPARTMENT OF JUSTICE OR THE FAIR HOUSING ACT ACCESSIBILITY GUIDELINES ADMINISTERED BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT SHALL BE EQUIVALENT TO MEETING THE ACCESSIBILITY OF THIS CODE. CONSTRUCTION OF PUBLIC BUILDINGS OR FACILITIES IN COMPLIANCE WITH HRS 103-50 SHALL BE EQUIVALENT TO MEETING THE ACCESSIBILITY OF THIS CODE.

VICINITY MAP



LOCATION MAP



KONA COMMUNITY HOSPITAL
BID SET

KCH - EXTERIOR BUILDING REPAIRS & UPGRADES
79-1019 HAUKAPILA ST, KEALAKEKUA, HI 96750
TMK: 7-9-010:0081

SHEET TITLE:
TITLE SHEET CODE
SUMMARY, LOCATION &
VICINITY MAP

PROJECT:	2025-040
DRAWN BY:	IN
DATE:	03/27/2026
SHEET:	G01

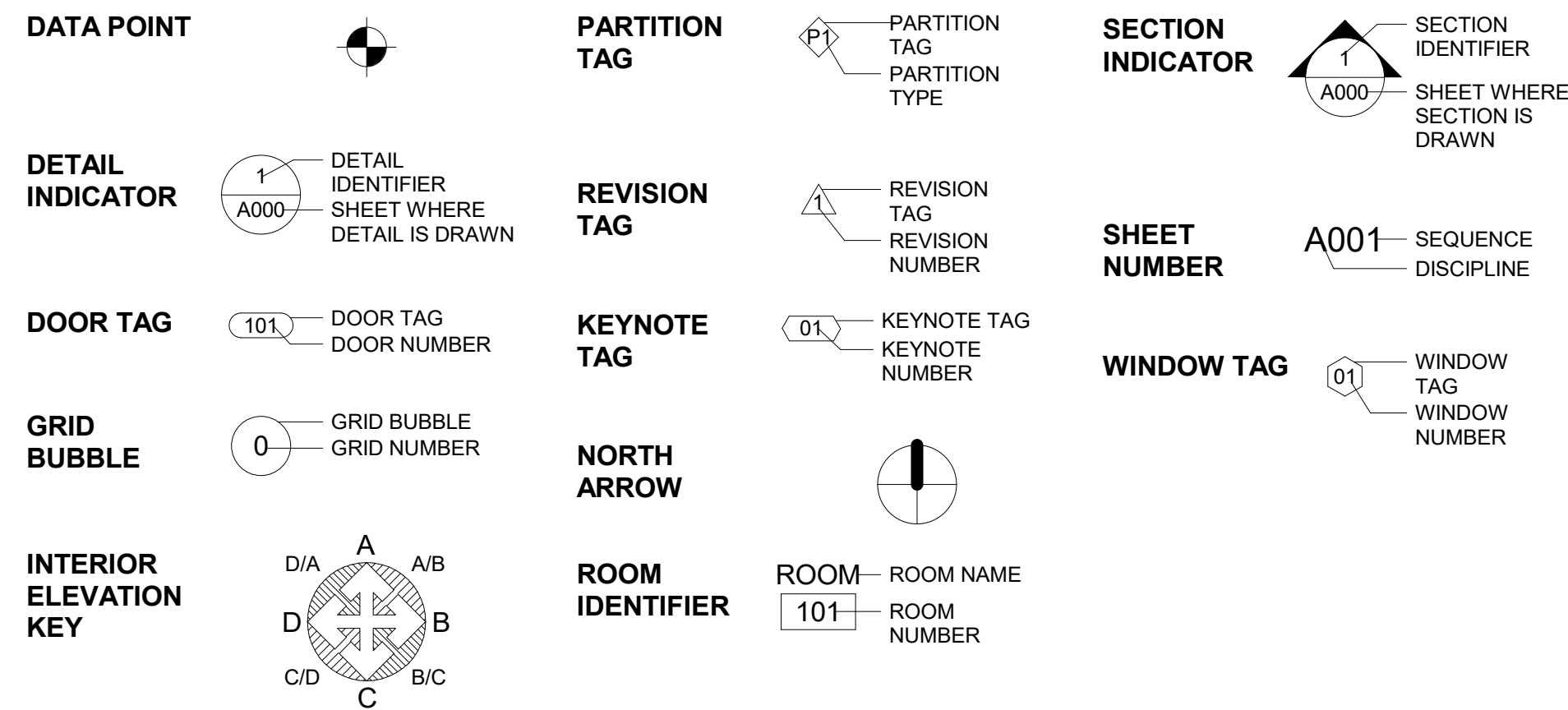
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ABBREVIATIONS

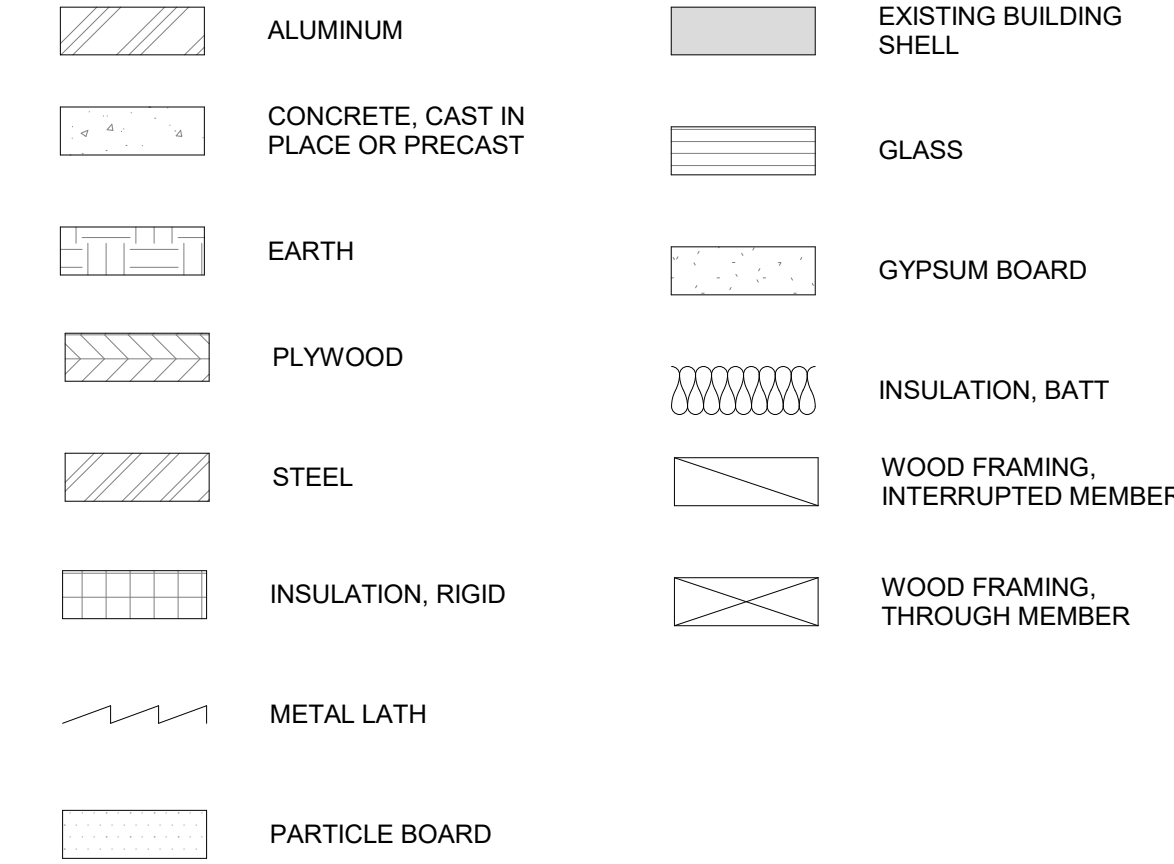
NOTE: NOT ALL ABBREVIATIONS ARE NECESSARILY USED

A	A.B. ANCHOR BOLT A/C AIR CONDITIONING ACOUST. ACOUSTICAL ADJ. ADJUSTABLE A.F.F. ABOVE FINISH FLOOR AL. ALUMINUM ALT. ALTERNATE ANOD. ANODIZED A.P. ACCESS PANEL APPROX. APPROXIMATE ARCH. ARCHITECTURAL	H	H. HEIGHT/HIGH H.C. HOLLOW CORE HDWD. HARDWOOD HDWR. HARDWARE H.M. HOLLOW METAL HORIZ. HORIZONTAL HR. HOUR H.V.A.C. HEATING, VENTILATION & AIR CONDITIONING H.W. HOT WATER	S	S. SOUTH S.A. SINGLE ACTING S.C. SOLID CORE S.C.D. SEAT COVER SCHED. SCHEDULE S.D. SOAP DISPENSER S.E.C. SECTION SHT. SHEET SHWR. SHOWER SIM. SIMILAR S.L. SLOPE S.N.D. SANITARY NAPKIN DISPENSER S.N.R. SANITARY NAPKIN RECEPTACLE SPEC. SQ. SPECIFICATION SQUARE SST. STAINLESS STEEL S.SMK. SERVICE SINK STD. STANDARD STL. STEEL STOR. STORAGE STRUCT. STRUCTURAL SURR. SURROUND SUSP. SUSPENDED SYM. SYMMETRICAL SYS. SYSTEM
B	BD. BOARD BLDG. BUILDING BLK. BLOCK BM. BEAM BOT. BOTTOM BOD. BASIS OF DESIGN	I	I.D. INSIDE DIAMETER INCL. INCLUSIVE OR INCLUDED INSUL. INSULATION INT. INTERIOR	T	T. TREAD T.B. TOWEL BAR TEL. TELEPHONE TEMP. TEMPERED T&G. TONGUE AND GROOVE THK. THICK TKBD. TACKBOARD TOIL. TOILET T.P.D. TOILET PAPER DISPENSER T.P.H. TOILET PAPER HOLDER T.V. TELEVISION TYP. TYPICAL
C	CAB. CABINET CEM. CEMENT CER. CERAMIC C.J. CONTROL JOINT CLG. CEILING CLKG. CAULKING CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT CNTR. COUNTER C.O. CLEAN OUT CONC. CONCRETE COND. CONDITION CONN. CONNECTION CONSTR. CONSTRUCTION CONT. CONTINUOUS CONTR. CONTRACTOR CORR. CORRIDOR C.P. CEMENT PLASTER CPT. CARPET C.T. CERAMIC TILE CTR. CENTER CTS.K. COUNTERSUNK	J	JAN. JANITOR JST. JOIST JT. JOINT	M	MAT. MATERIAL MAX. MAXIMUM M.D. METAL DECK M.O. MECHANICAL MET. METAL MFR. MANUFACTURER MIN. MINIMUM MISC. MISCELLANEOUS M.O. MASONRY OPENING MTD. MOUNTED MTG. MOUNTING MUL. MULLION
D	D. DEEP/DEPTH D.A. DOUBLE ACTING DBL. DOUBLE DEPT. DEPARTMENT DET. DETAIL D.F. DRINKING FOUNTAIN DIA. DIAMETER DIM. DIMENSION DISP. DISPENSER D.O. DOOR OPENING DN. DOWN DR. DOOR DWG. DRAWING DWR. DRAWER	K	KIT. KITCHEN	N	N. NORTH N.I.C. NOT IN CONTRACT NO. NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE
E	E. EAST EA. EACH E.F. EXTERIOR FINISH E.F.S. EXTERIOR FINISH SYSTEM E.J. EXPANSION JOINT EL. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATOR EMER. EMERGENCY ENCL. ENCLOSURE E.P. ELECTRICAL PANEL EQ. EQUAL EQUIP. EQUIPMENT E.W.C. ELECTRIC WATER COOLER (E) EXISTING EXPO. EXPOSED EXP. EXPANSION EXT. EXTERIOR	L	LAB. LABORATORY LAM. LAMINATE LAV. LAVATORY L.F. LINEAR FEET L.T. LIGHT	O	OA. OVERALL OBS. OBSCURE O.C. ON CENTER O.D. OUTSIDE DIAMETER O.F.C.I. OWNER FURNISHED CONTRACTOR INSTALLED O.F.O.I. OWNER FURNISHED OWNER INSTALLED OFF. OFFICE O.H. OVERHANG OPNG. OPENING OPP. OPPOSITE OVHD. OVERHEAD
F	F.A. FIRE ALARM F.D. FLOOR DRAIN FDN. FOUNDATION F.E. FIRE EXTINGUISHER F.E.C. FIRE EXTINGUISHER CABINET F.F. FACTORY FINISH F.F. EL. FINISH FLOOR ELEVATION F.H.C. FIRE HOSE CABINET FIN. FINISH FL. FLOOR FLDG. FOLDING FLUOR. FLUORESCENT F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.M. FINISH OF MASONRY F.O.S. FACE OF STUD FRPR. FIREPROOF(ING) FR. FRAME F.S. FINISH SYSTEM FT. FOOT (OR FEET) FTG. FOOTING FURR. FURRING FUT. FUTURE	MAT.	MATERIAL MAXIMUM METAL DECK MECH. MECHANICAL MET. METAL MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MOUNTED MOUNTING MULLION	P	PT. PAINT PC. PIECE PL. PLATE P-LAM. PLASTIC LAMINATE PLAS. PLASTER PLBG. PLUMBING PLYWD. PLYWOOD PNL. PANEL PR. PAIR P.T.D. PAPER TOWEL DISPENSER PART. PARTITION P.T.R. PAPER TOWEL RECEPTACLE
G	GA. GAUGE GALV. GALVANIZED G.B. GRAB BAR GL. GLASS GND. GROUND GR. GRADE GYP. GYPSUM	R	R. RISER RAD. RADIUS REF. REFERENCE REFR. REFRIGERATOR REINF. REINFORCED OR REINFORCING REQD. REQUIRED REVISED RESIL. RESILIENT R.H. ROBE HOOK RM. ROOM R.O. ROUGH OPENING	U	UNFIN. UNFINISHED U.O.N. UNLESS OTHERWISE NOTED UR. URINAL
		W	WIDTH W. WITH WC. WATER CLOSET WD. WOOD WDW. WINDOW W.H. WATER HEATER W.O. WHERE OCCURS W/O. WITHOUT WP. WATERPROOF W.R. WATER RESISTANT WT. WEIGHT W.W.M. WELDED WIRE MESH	V	V.C.T. VINYL COMPOSITION TILE VERT. VERTICAL VEST. VESTIBULE

ARCHITECTURAL SYMBOLS



MATERIAL INDICATIONS



GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE 2018 INTERNATIONAL BUILDING CODE, THE LATEST CITY AND COUNTY OF HAWAII AMENDMENTS AND ORDINANCES.
- KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS, CONSTRUCTION DEBRIS, RUBBISH AND DISPOSE OF LAWFULLY AND IN ACCORDANCE WITH THE CONSTRUCTION WASTE MANAGEMENT PLAN.
- ALL WORK SHALL BE PERFORMED IN A MANNER THAT PROTECTS BUILDING OCCUPANTS, VISITORS AND THEIR POSSESSIONS. INSTALL VISQUEEN WITH TAPED EDGES (MIN.) BETWEEN CONSTRUCTION AREA AND ADJACENT SPACES UNTIL CLOSURE IS COMPLETE.
- IF THE CONTRACTOR SHALL PERFORM WORK CAUSING UNIQUE NOISE, ODORS OR OTHER DISTURBANCES OUTSIDE OF REGULAR BUSINESS HOURS, SUCH WORK SHALL BE SCHEDULED WITH OWNER AND BUILDING MANAGEMENT.
- ALL DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE CONFINED TO THE DESIGNATED AREA OF WORK EXCEPT FOR ANY REMOTE MECHANICAL AND ELECTRICAL ITEMS. ANY DAMAGE CAUSED BY THE CONTRACTOR TO THE ADJOINING IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OR HER EXPENSE.
- ALL ITEMS INDICATED "TO REMAIN" SHALL BE PROTECTED DURING THE CONSTRUCTION PERIOD.
- THE INTENT OF THE DRAWINGS IS TO PRODUCE THE INTENDED RESULTS UNDER RECOGNIZED STANDARDS EVEN IF NOT SHOWN, BUT REASONABLY INFERRABLE THEREFROM. THE CONTRACTOR SHALL CHECK ALL DRAWINGS FURNISHED TO HIM/HER IMMEDIATELY UPON THEIR RECEIPT AND SHALL PROMPTLY NOTIFY THE ARCHITECTS OF ANY DISCREPANCIES. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS, AND DETAILS TAKE PRECEDENT OVER ALL. THE CONTRACTOR SHALL COMPARE ALL DRAWINGS AND VERIFY THE DETAILS BEFORE LAYING OUT THE WORK AND SHALL BE RESPONSIBLE FOR ANY ERRORS WHICH MIGHT HAVE BEEN AVOIDED THEREBY.
- WALLS MUST BE PLUMB AND CORNERS AT 90 DEGREES UNLESS OTHERWISE NOTED.
- TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THESE PLANS ARE IN COMPLIANCE WITH THE ACCESSIBILITY GUIDELINES CONTAINED IN THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
- ALL WOOD USED WITHIN PARTITIONS SHALL BE FIRE RETARDANT TREATED.
- THE INSTALLATION, MAINTENANCE, SELECTION, AND DISTRIBUTION OF PORTABLE FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH NFPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS, AND SECTION 13.6. 2012 NFPA1. MINIMUM 2A-10C PORTABLE FIRE EXTINGUISHER(S) WITHIN A MAXIMUM 75 FEET TRAVEL DISTANCE IN ACCORDANCE WITH N.F.P.A. 10.
- ALL EQUIPMENT AND WIRING (COMMUNICATION, POWER, FIRE ALARM, ETC.) INSTALLED IN A PLENUM SHALL BE LISTED FOR INSTALLATION IN SUCH AREAS.
- GC MUST NOTIFY BUILDING OWNER, 72 HOURS IN ADVANCE ON ANY WORK REQUIRING ELECTRICAL, MECHANICAL AND PLUMBING INTERRUPTIONS.
- GC TO FURNISH SUBMITTALS AND SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND COMMENT.

DEMOLITION NOTES

- ALL ITEMS SCHEDULED TO BE REMOVED BY THE CONTRACTOR SHALL BE CONSIDERED TO BE THE CONTRACTOR'S PROPERTY AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS OTHERWISE NOTED.
- PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM REMAINING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
- IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
- DEBRIS REMOVAL SHALL COMPLY WITH BUILDING RULES AND REGULATIONS. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION IN ELEVATOR LOBBY, PUBLIC CORRIDORS, RESTROOMS OR TENANT SPACES. REFINISH TO MATCH EXISTING FINISH.

SHEET INDEX

SHEET NO.	SHEET NAME
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A92	REFERENCE PHOTOS

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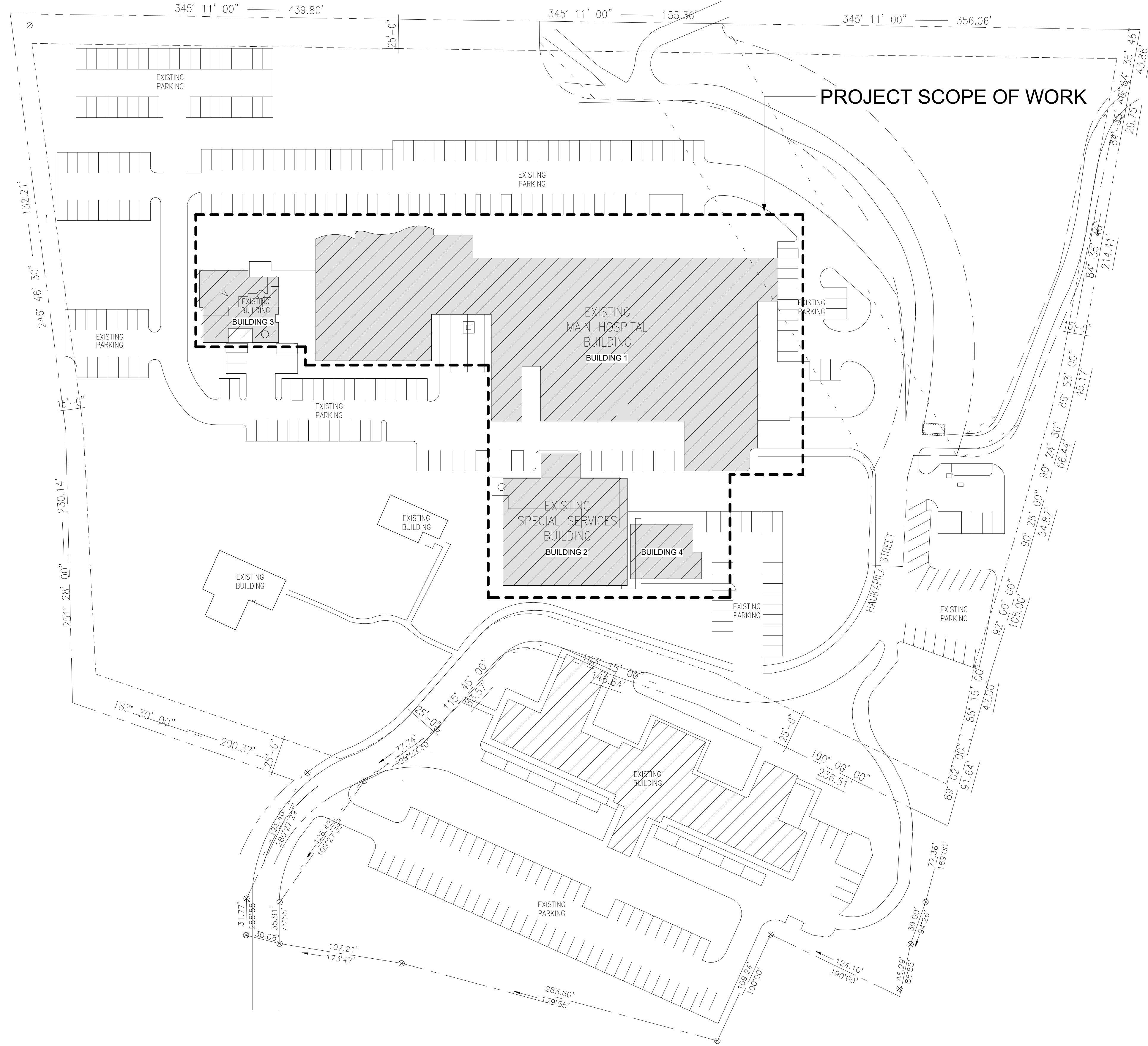
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BID SET
KCH - EXTERIOR BUILDING REPAIRS & UPGRADES
79-1019 HAUKAAPILA ST., KEALAKEUA, HI 96750
TMK: 7-9-010081

PROJECT: 2025-040 REVISIONS: 1 | ADDENDUM #A2 IN DATE: 03/27/2026 SHEET: G02

SHEET TITLE: ABBREVIATIONS, SYMBOLS, SHEET INDEX, GENERAL & DEMOLITION NOTES

SIGNATURE: _____ EXPIRATION OF LICENSE: 03/27/2026
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1 OVERALL SITE PLAN
G03 1" = 50'-0"

PROJECT SCOPE OF WORK

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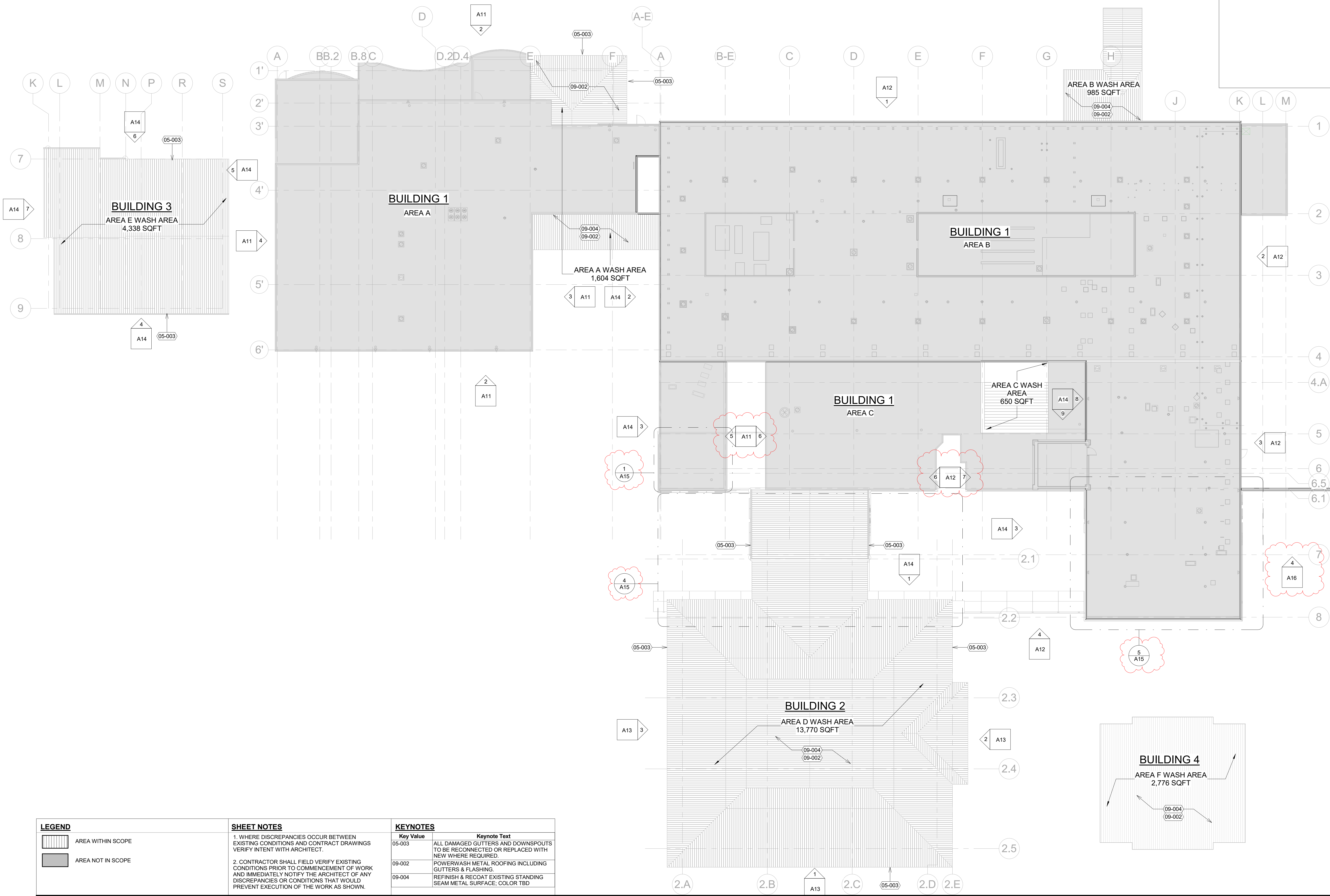
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BID SET
KCH - EXTERIOR BUILDING REPAIRS & UPGRADES
79-1019 HAUKAPILA ST., KEALAKEKUA, HI 96750
TMK: 7-9-0100081

SHEET TITLE:
OVERALL SITE PLAN

PROJECT:	2025-040
REVISIONS:	
DRAWN BY:	Author
DATE:	03/27/2026
SHEET:	G03

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LEGEND	
	AREA WITHIN SCOPE
	AREA NOT IN SCOPE

SHEET NOTES	
1.	WHERE DISCREPANCIES OCCUR BETWEEN EXISTING CONDITIONS AND CONTRACT DRAWINGS VERIFY INTENT WITH ARCHITECT.
2.	CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS THAT WOULD PREVENT EXECUTION OF THE WORK AS SHOWN.

KEYNOTES	
Key Value	Keynote Text
05-003	ALL DAMAGED GUTTERS AND DOWNSPOUTS TO BE RECONNECTED OR REPLACED WITH NEW WHERE REQUIRED.
09-002	POWERWASH METAL ROOFING INCLUDING GUTTERS & FLASHING.
09-004	REFINISH & RECOAT EXISTING STANDING SEAM METAL SURFACE, COLOR TBD

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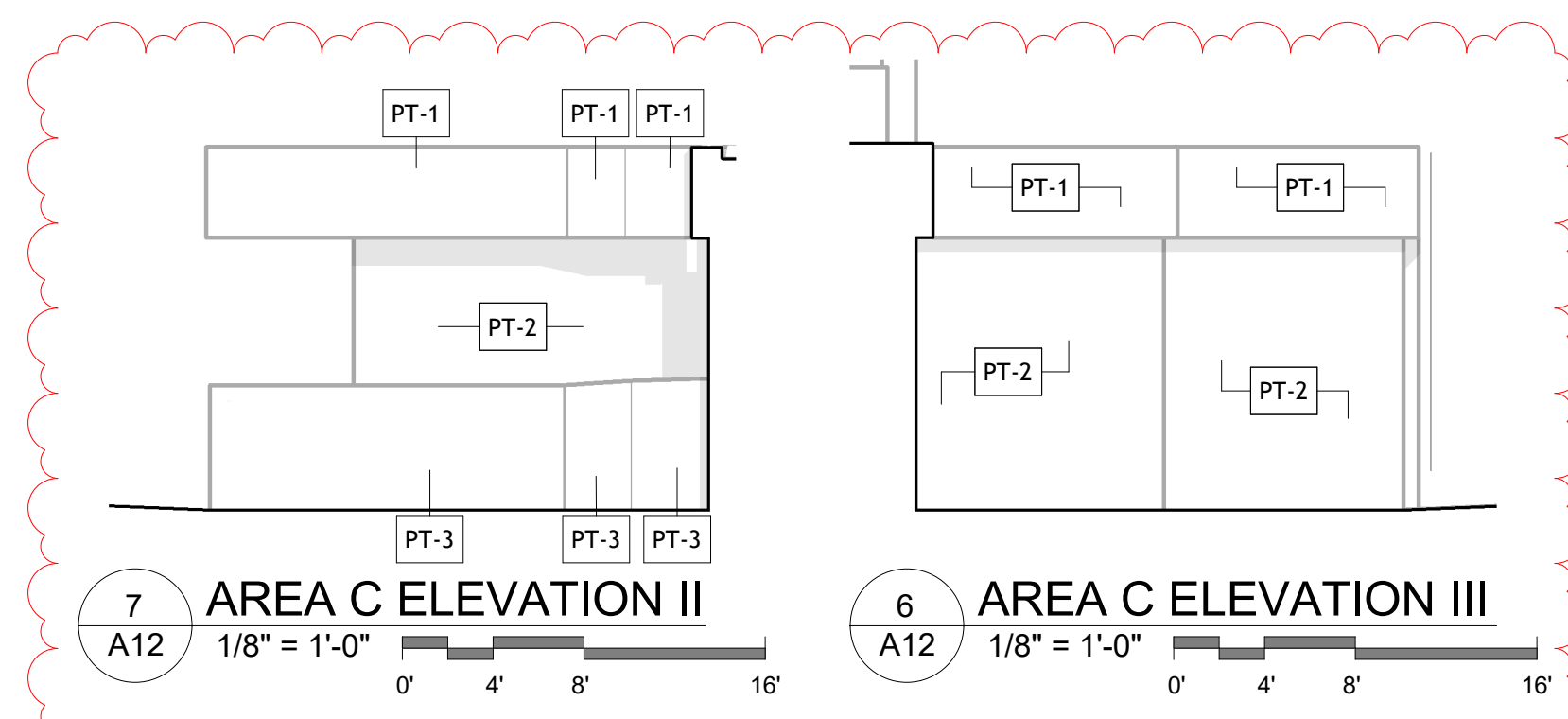
OVERALL BUILDING PLAN

PROJECT:	REVISIONS:	DATE:
2025-040	1	4/27/2026
DRAWN BY:	Author	
DATE:	03/27/2026	

A01.1

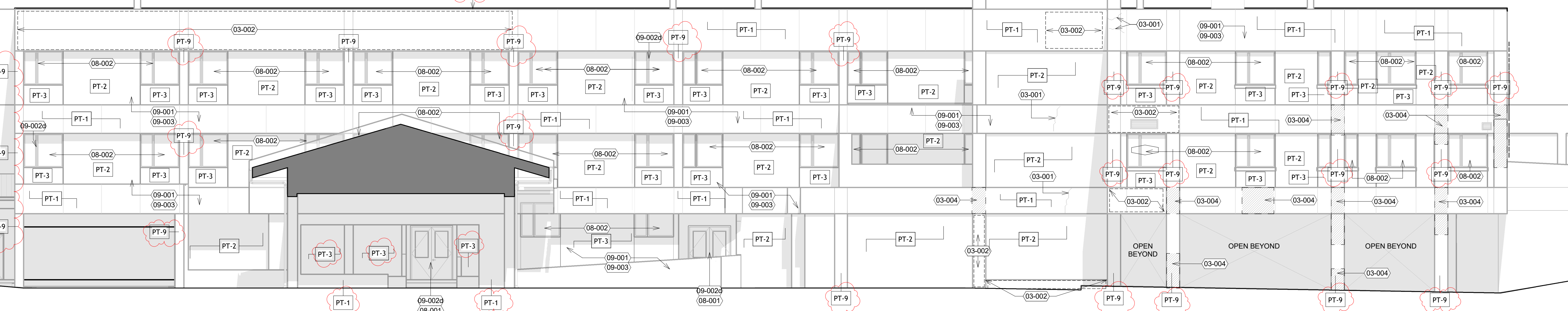
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NOTE: REFER TO SHEET A16 FOR METAL PANEL CLADDING EXTENTS

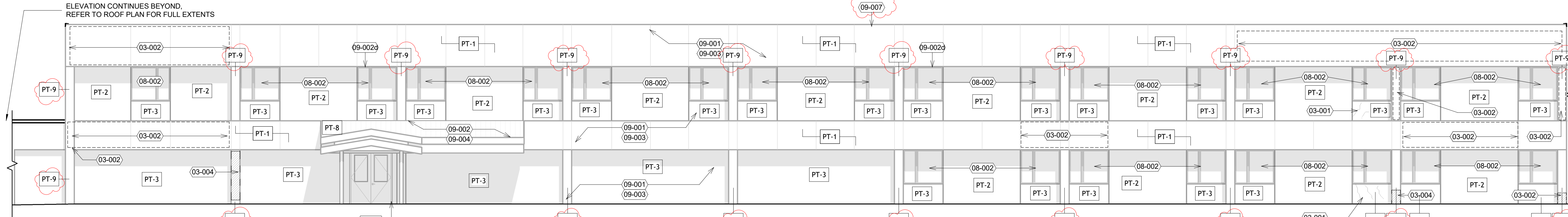


7 AREA C ELEVATION II
A12 1/8" = 1'-0" 0' 4' 8' 16'

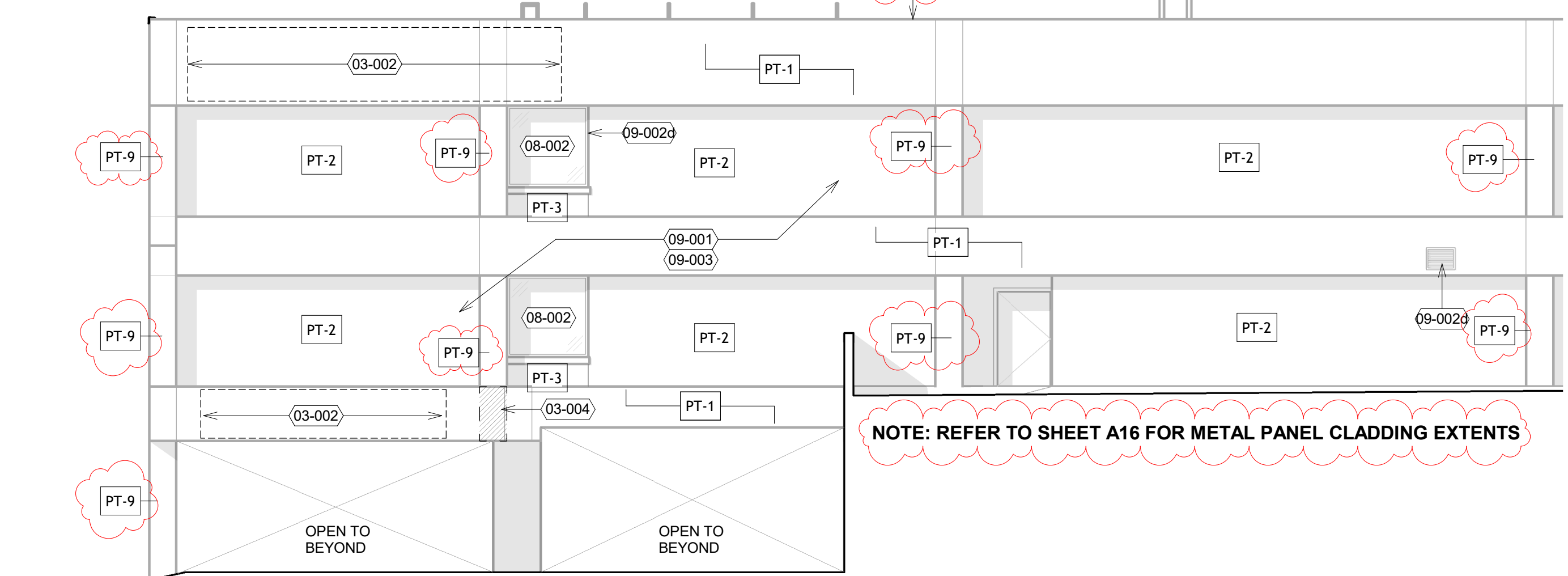
6 AREA C ELEVATION III
A12 1/8" = 1'-0" 0' 4' 8' 16'



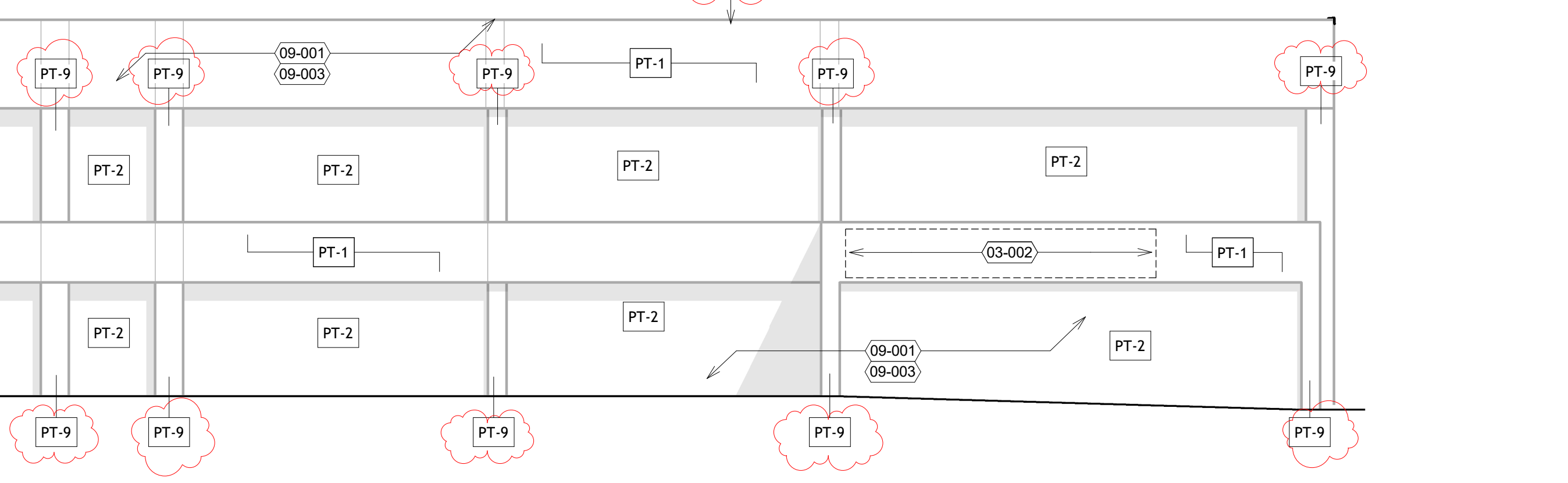
4 AREA B & C SOUTH ELEVATION
A12 1/8" = 1'-0" 0' 4' 8' 16'



1 AREA B NORTH ELEVATION
A12 1/8" = 1'-0" 0' 4' 8' 16'



NOTE: REFER TO SHEET A16 FOR METAL PANEL CLADDING EXTENTS



2 AREA B EAST ELEVATION
A12 1/8" = 1'-0" 0' 4' 8' 16'

3 AREA C EAST ELEVATION
A12 1/8" = 1'-0" 0' 4' 8' 16'

LEGEND

- EXISTING EXTERIOR FINISH (EIFS & CONCRETE)
- STANDING SEAM METAL ROOF
- WINDOW / GLAZING
- CHAINLINK FENCING
- LOUVER GRILL
- APPROXIMATED FACADE DEFICIENCY
- DEFICIENT AREA OF FOCUS
- PT-1 FINISH COLOR TAG

SHEET NOTES

- WHERE DISCREPANCIES OCCUR BETWEEN EXISTING CONDITIONS AND CONTRACT DRAWINGS VERIFY INTENT WITH ARCHITECT.
- BUILDING 1: EXCEPT WHERE O.W.N. ALL WALLS TO RECEIVE PRESSURE WASH, PRIME AND ELASTOMERIC COATING.

KEYNOTES

Key Value	Keynote Text
03-001	FILL CONCRETE CRACKING WITH APPROVED SEALANT COMPOUND PREP REPAIRED SURFACE FOR FINISH TO MATCH AS INDICATED. TYPICAL FOR ENTIRE FACADE.
03-002	PATCH & PARGE COAT DAMAGED AREA PREP REPAIRED SURFACE FOR FINISH TO MATCH AS INDICATED. TYPICAL FOR ENTIRE FACADE.
03-004	CHIP AWAY AREA OF SPALLED CONCRETE, PATCH AND PARGE AREA. PREP SURFACE FOR APPLICATION OF ELASTOMERIC COATING.
08-001	REMOVE EXISTING PERIMETER DOOR SEALANT AND BACKERROD AND INSTALL NEW.
08-002	REMOVE FAILED WINDOW JOINT SEALS AND WET GLAZING AND INSTALL NEW.
09-001	POWERWASH CONCRETE WALL SURFACE. DRY AND PREP FOR NEW FINISH AS NOTED
09-002	POWERWASH METAL ROOFING INCLUDING GUTTERS & FLASHING.
09-002d	PRIME AND PAINT DOOR, WINDOW, LOUVER FACES, FRAMES; TYP FOR ALL INSTANCES
09-003	PRIME AND FINISH W/ ELASTOMERIC COATING
09-004	REFINISH & RECOAT EXISTING STANDING SEAM METAL SURFACE. COLOR TBD
09-007	EXTEND PAINTING TO EXISTING COPING, TYP

1. TYPICAL FOR ALL ELEVATIONS:
a. 09-001
b. 09-002d

2. COLOR TO DETERMINED. REFER TO SAMPLE ELEVATION FOR COLOR SPLIT

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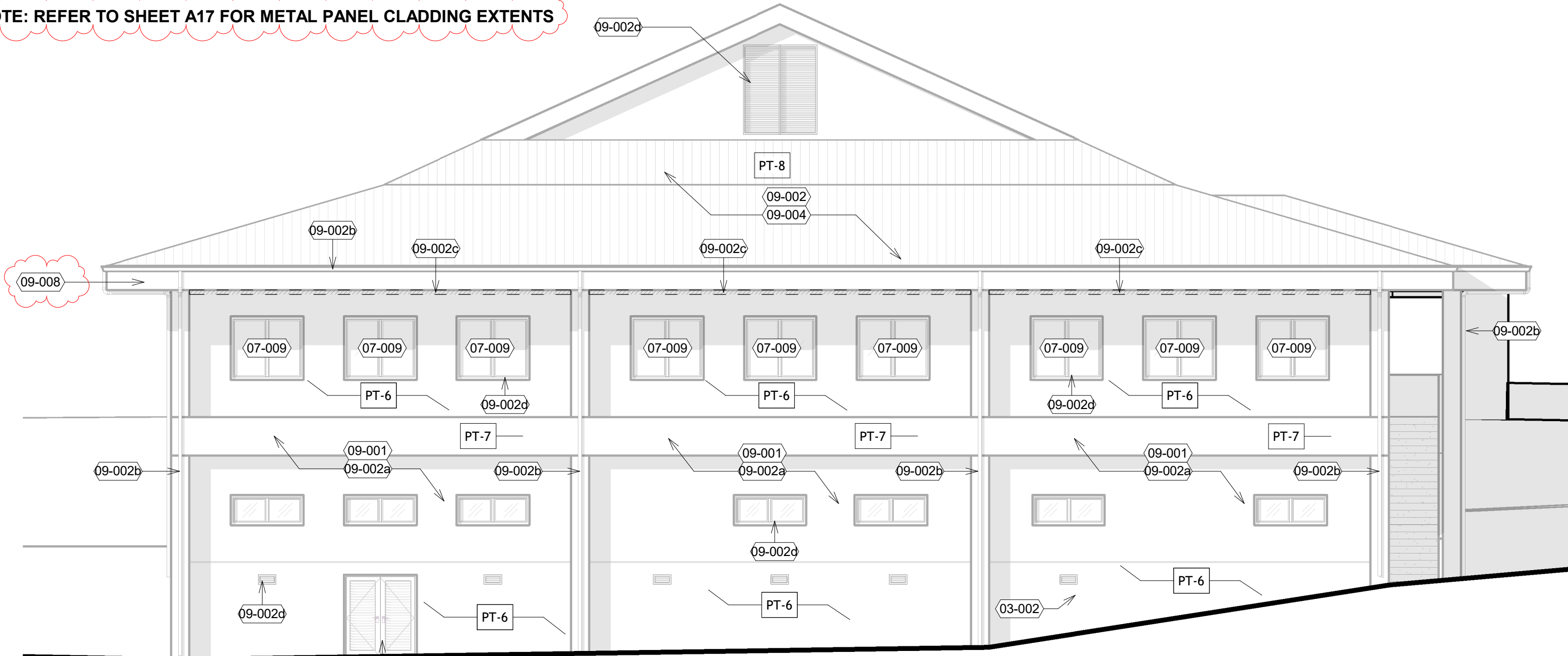
SHEET TITLE:
BUILDING ELEVATIONS

PROJECT:	2025-040
DRAWN BY:	Author
DATE:	03/27/2026
SHEET:	A12

REVISIONS:
1 ADDENDUM #A2 4/27/2026

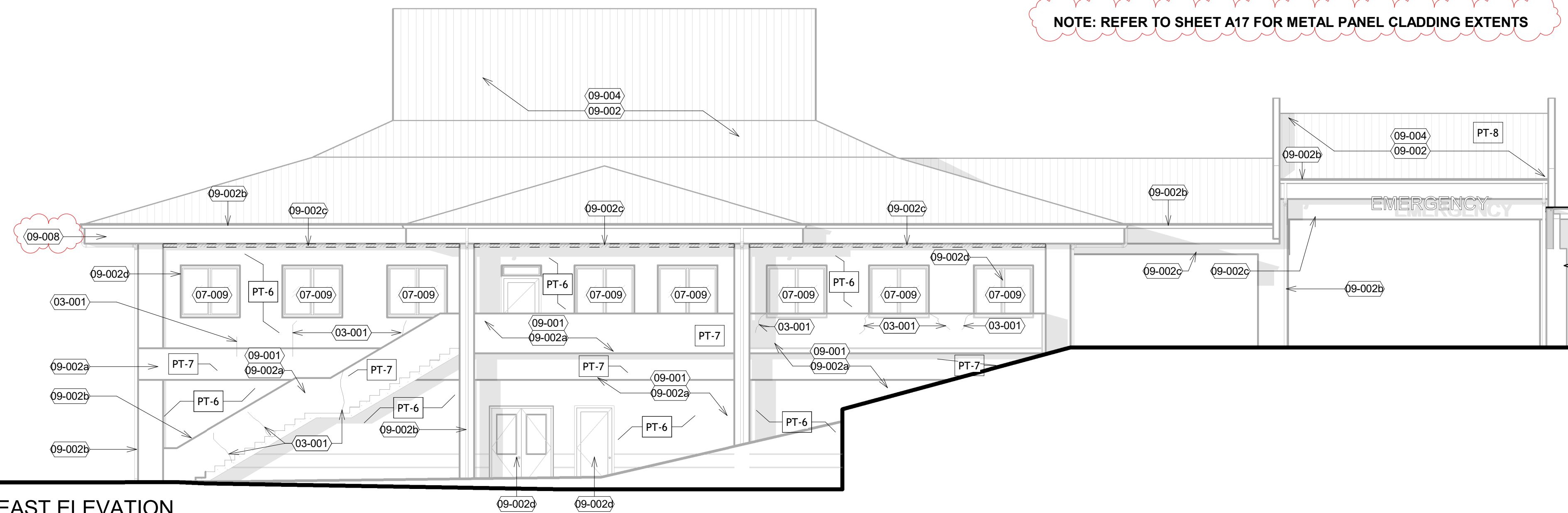
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NOTE: REFER TO SHEET A17 FOR METAL PANEL CLADDING EXTENTS



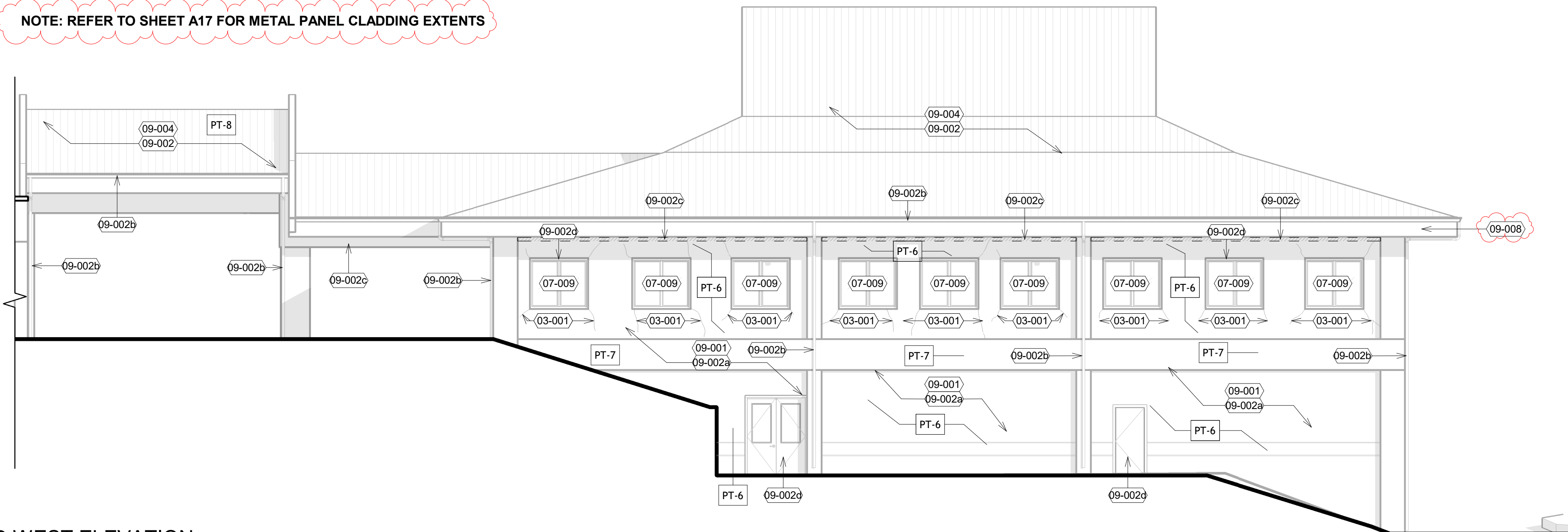
1 AREA D SOUTH ELEVATION
A13 1/8" = 1'-0"

NOTE: REFER TO SHEET A17 FOR METAL PANEL CLADDING EXTENTS



2 AREA D EAST ELEVATION
A13 1/8" = 1'-0"

NOTE: REFER TO SHEET A17 FOR METAL PANEL CLADDING EXTENTS



3 AREA D WEST ELEVATION
A13 1/8" = 1'-0"

LEGEND

- EXISTING EXTERIOR FINISH (EIFS & CONCRETE)
- STANDING SEAM METAL ROOF
- WINDOW / GLAZING
- CHAINLINK FENCING
- LOUVER GRILL
- APPROXIMATED FAÇADE DEFICIENCY
- DEFICIENT AREA OF FOCUS
- FINISH COLOR TAG

SHEET NOTES

1. WHERE DISCREPANCIES OCCUR BETWEEN EXISTING CONDITIONS AND CONTRACT DRAWINGS VERIFY INTENT WITH ARCHITECT.
2. BUILDING 1: EXCEPT WHERE O.W.N. ALL WALLS TO RECEIVE PRESSURE WASH, PRIME AND ELASTOMERIC COATING.

KEYNOTES

Key Value	Keynote Text
03-001	FILL CONCRETE CRACKING WITH APPROVED SEALANT COMPOUND PREP REPAIRED SURFACE FOR FINISH TO MATCH AS INDICATED. TYPICAL FOR ENTIRE FAÇADE.
03-002	PATCH & PARGE COAT DAMAGED AREA PREP REPAIRED SURFACE FOR FINISH TO MATCH AS INDICATED. TYPICAL FOR ENTIRE FAÇADE.
07-009	RECALK WINDOW FRAME PERIMETER
09-001	POWERWASH CONCRETE WALL SURFACE, DRY AND PREP FOR NEW FINISH AS NOTED
09-002	POWERWASH METAL ROOFING INCLUDING GUTTERS & FLASHING.
09-002a	PRIME AND PAINT
09-002b	MISCELLANEOUS METAL SURFACES, DOWNSPOUTS, RAILINGS ETC.
09-002c	PRIME AND REPAINT SURFACE OF EXTERIOR BEAM PROTRUSION
09-002d	PRIME AND PAINT DOOR, WINDOW, LOUVER FACES, FRAMES; TYP FOR ALL INSTANCES
09-004	REFINISH & RECOAT EXISTING STANDING SEAM METAL SURFACE; COLOR TBD
09-008	EXTEND PAINTING TO EXISTING FASCIA; TYP

1. TYPICAL FOR ALL ELEVATIONS:
a. 09-001
b. 09-002d
2. COLOR TO DETERMINED; REFER TO SAMPLE ELEVATION FOR COLOR SPLIT

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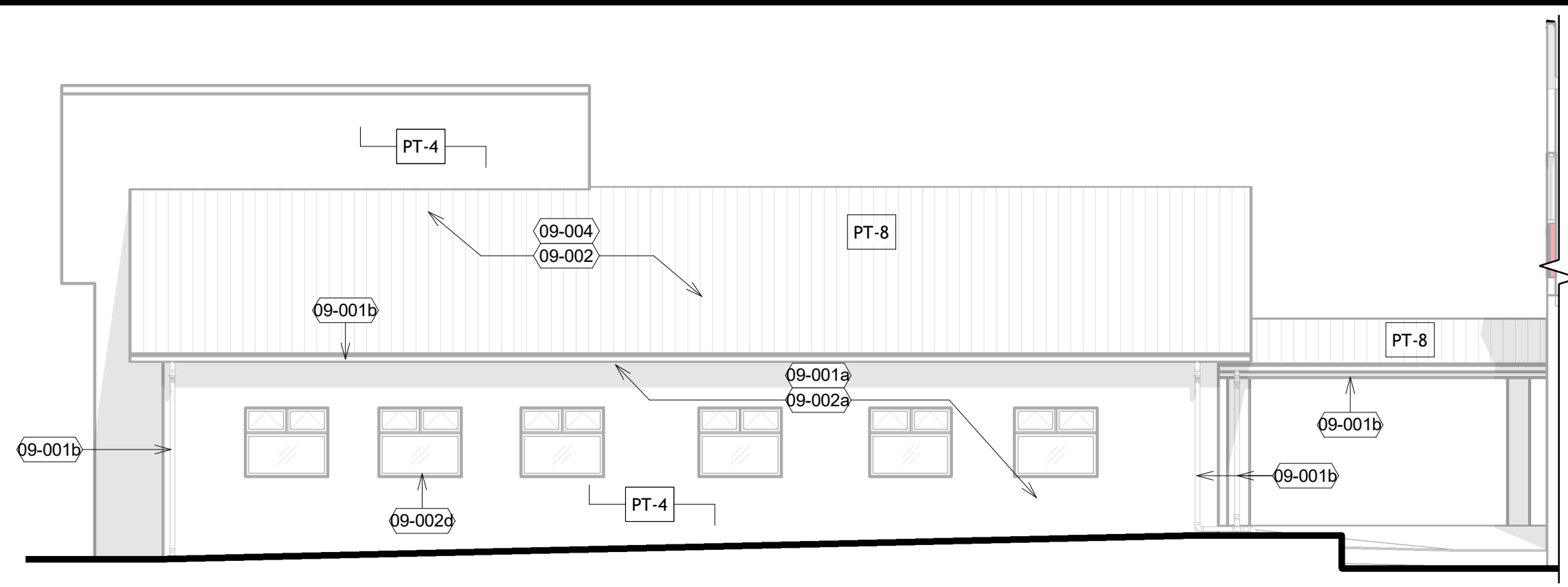
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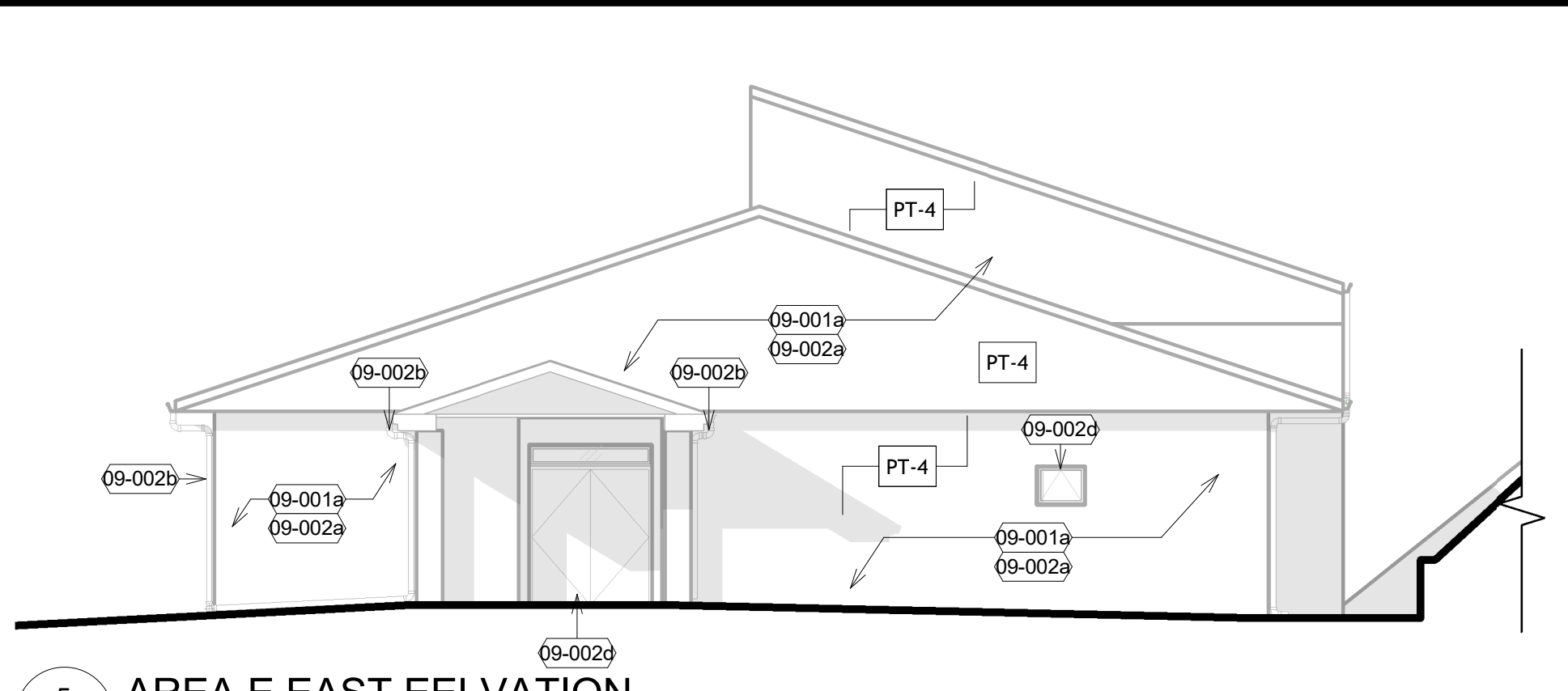
SHEET TITLE:
BUILDING ELEVATIONS

PROJECT:	2025-040	REVISIONS:	1	ADDENDUM #A2	4/27/2026
DRAWN BY:	Author				
DATE:	03/27/2026				
SHEET:	A13				

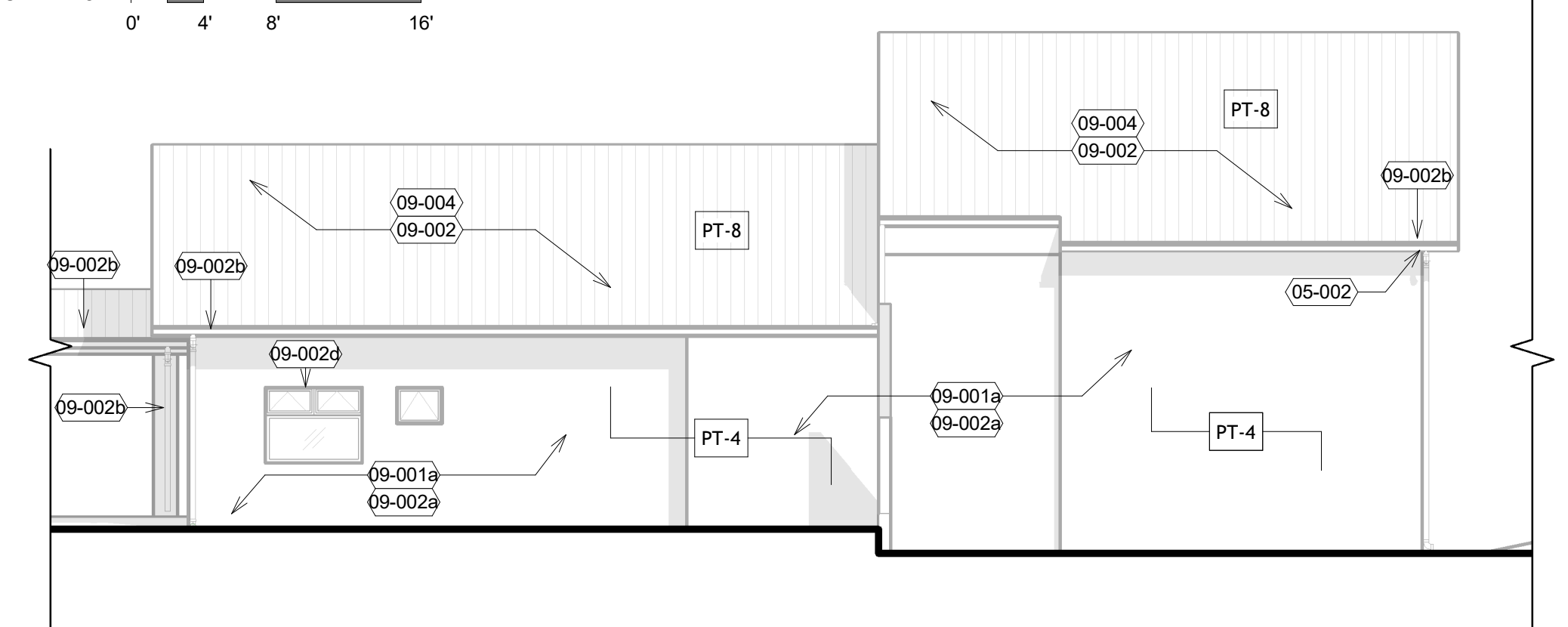
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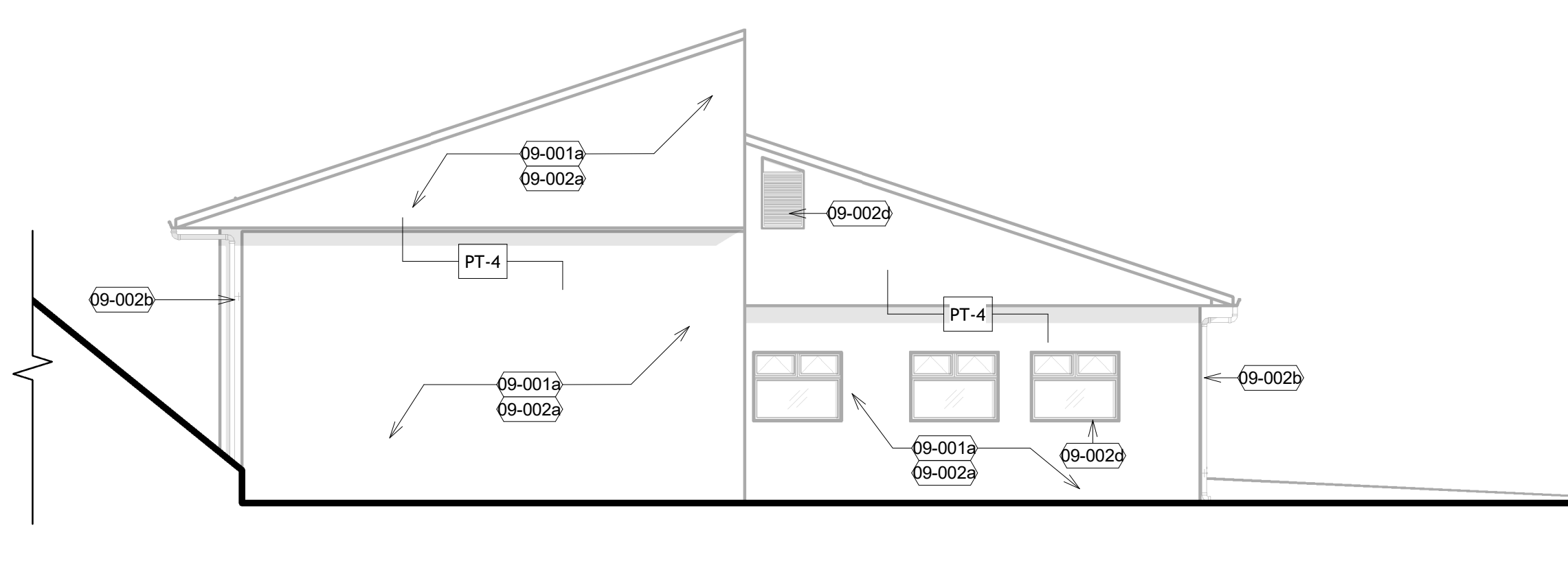
4 AREA E SOUTH ELEVATION
A14 1/8" = 1'-0"



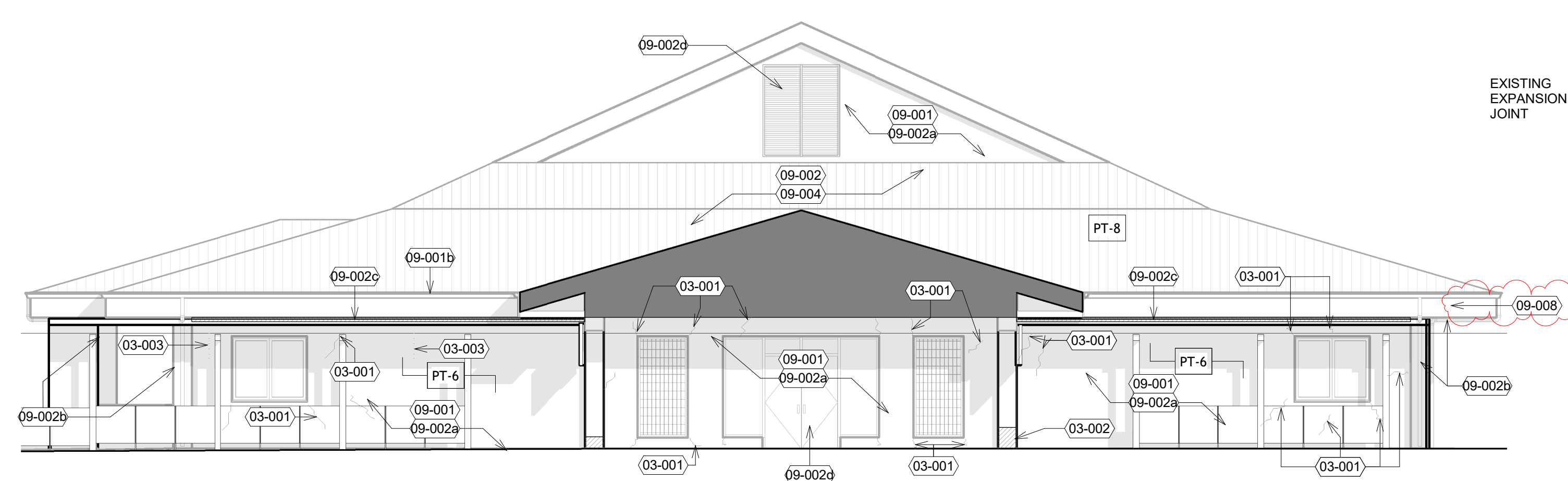
5 AREA E EAST ELEVATION
A14 1/8" = 1'-0"



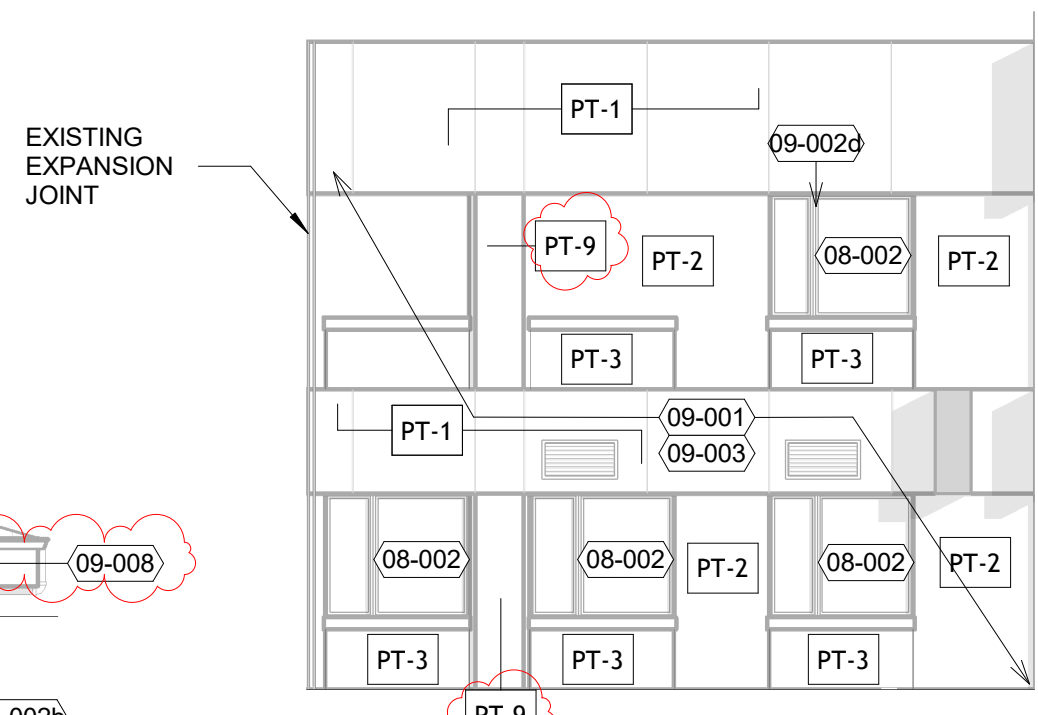
6 AREA E NORTH ELEVATION
A14 1/8" = 1'-0"



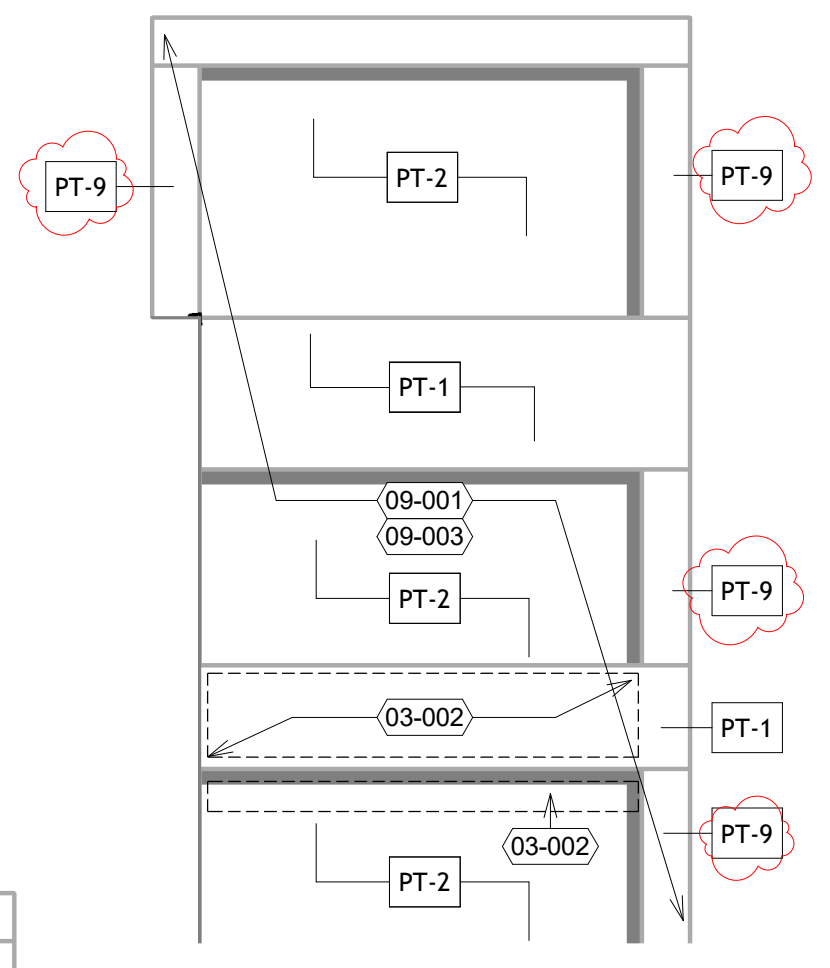
7 AREA E WEST ELEVATION
A14 1/8" = 1'-0"



1 AREA D NORTH ELEVATION
A14 1/8" = 1'-0"



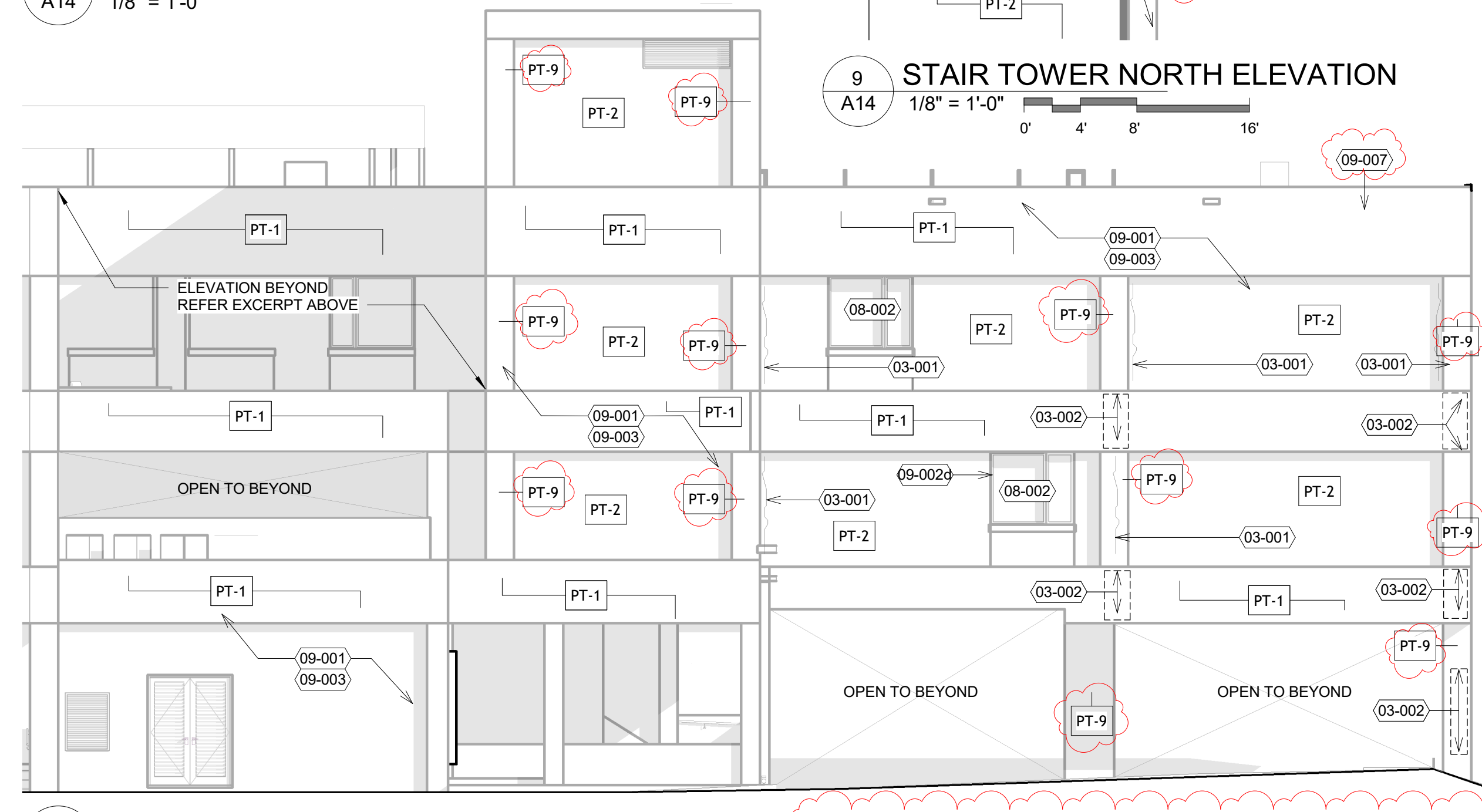
8 AREA C WEST ELEVATION II
A14 1/8" = 1'-0"



9 STAIR TOWER NORTH ELEVATION
A14 1/8" = 1'-0"



2 AREA B WEST ELEVATION
A14 1/8" = 1'-0"



3 AREA C WEST ELEVATION
A14 1/8" = 1'-0"

LEGEND

- EXISTING EXTERIOR FINISH (EIFS & CONCRETE)
- STANDING SEAM METAL ROOF
- WINDOW / GLAZING
- CHAINLINK FENCING
- LOUVER GRILL
- APPROXIMATED FACADE DEFICIENCY
- DEFICIENT AREA OF FOCUS
- PT-1 FINISH COLOR TAG

SHEET NOTES

- WHERE DISCREPANCIES OCCUR BETWEEN EXISTING CONDITIONS AND CONTRACT DRAWINGS VERIFY INTENT WITH ARCHITECT.
- BUILDING 1: EXCEPT WHERE O.W.N. ALL WALLS TO RECEIVE PRESSURE WASH, PRIME AND ELASTOMERIC COATING.

KEYNOTES

Key Value	Keynote Text
03-001	FILL CONCRETE CRACKING WITH APPROVED SEALANT COMPOUND PREP REPAIRED SURFACE FOR FINISH TO MATCH AS INDICATED. TYPICAL FOR ENTIRE FACADE.
03-002	PATCH & PARGE COAT DAMAGED AREA, PREP REPAIRED SURFACE FOR FINISH TO MATCH AS INDICATED. TYPICAL FOR ENTIRE FACADE.
03-003	PATCH & FILL VOIDS IN CONCRETE SURFACE, PREP REPAIRED SURFACE FOR FINISH TO MATCH AS INDICATED.
03-004	CHIP AWAY AREA OF SPALLED CONCRETE, PATCH AND PARGE AREA, PREP SURFACE FOR APPLICATION OF ELASTOMERIC COATING.
05-002	REPAIR DOWNSPOUT & GUTTER CONNECTION
08-002	REMOVE FAILED WINDOW JOINT SEALS AND WET GLAZING AND INSTALL NEW.
09-001	POWERWASH CONCRETE WALL SURFACE, DRY AND PREP FOR NEW FINISH AS NOTED
09-001a	POWERWASH EIFS WALL SURFACE, DRY AND PREP FOR NEW FINISH AS NOTED
09-001b	POWERWASH AND PREPARE SURFACE TO BE PRIMED AND FINISHED WITH ELASTOMERIC COATING.
09-002	POWERWASH METAL ROOFING INCLUDING GUTTERS & FLASHING.
09-002a	PRIME AND PAINT
09-002b	PRIME AND PAINT MISCELLANEOUS METAL SURFACES, DOWNSPOUTS, RAILINGS ETC.
09-002c	PRIME AND REPAINT SURFACE OF EXTERIOR BEAM PROTRUSION
09-002d	PRIME AND PAINT DOOR, WINDOW, LOUVER FACES, FRAMES; TYP FOR ALL INSTANCES
09-003	PRIME AND FINISH W/ ELASTOMERIC COATING
09-004	REFINISH & RECOAT EXISTING STANDING SEAM METAL SURFACE; COLOR TBD
09-007	EXTEND PAINTING TO EXISTING COPING; TYP
09-008	EXTEND PAINTING TO EXISTING FASCIA; TYP

1. TYPICAL FOR ALL ELEVATIONS:
a. 09-001
b. 09-002d

2. COLOR TO DETERMINE:
REFER TO SAMPLE ELEVATION FOR COLOR SPLIT

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SHEET TITLE:
 BUILDING ELEVATIONS

PROJECT:	2025-040
DRAWN BY:	Author
DATE:	03/27/2026
REVISIONS:	1 ADDENDUM #A2 4/27/2026

A14

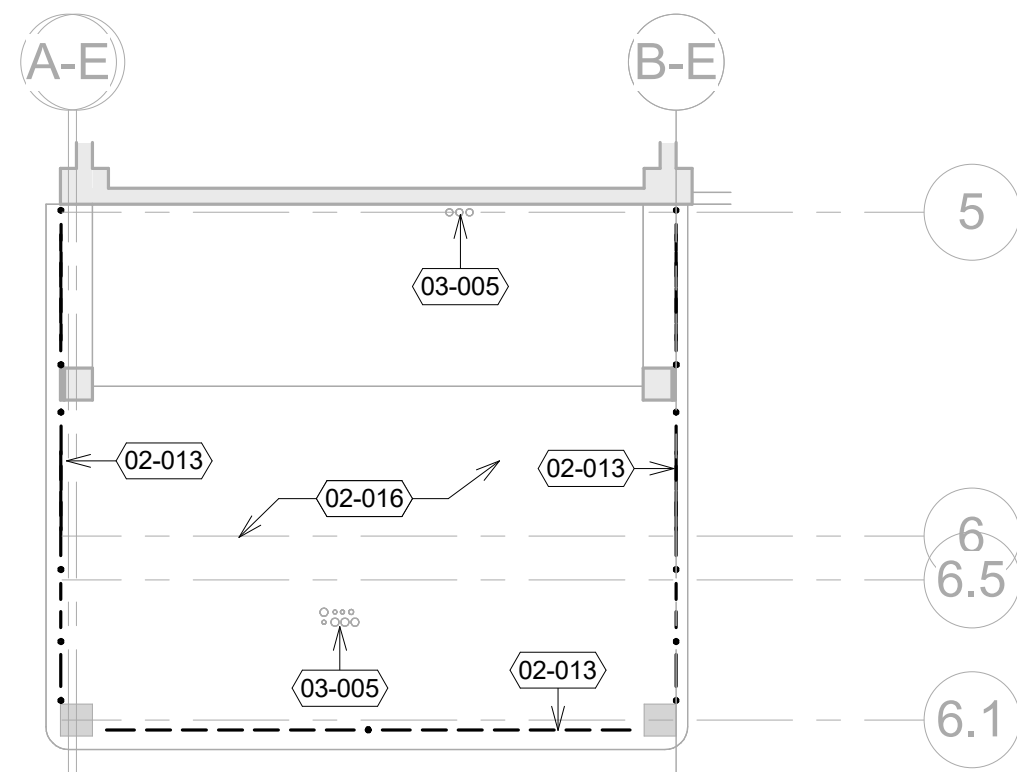
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WHAT	QUANTITY	MAKE/MODEL
OUTDOOR CHAIRS	72	VONDOM; PALM CHAIR; COLOR: TORTORA
ROUND TABLES	8	VONDOM; FAZ TABLE; 100CM ROUND; SOLID CORE TOP; COLOR: OCEAN
RECTANGULAR TABLES	4	VONDOM; FAZ TABLE; 89CM SQUARE; SOLID CORE TOP; COLOR: OCEAN

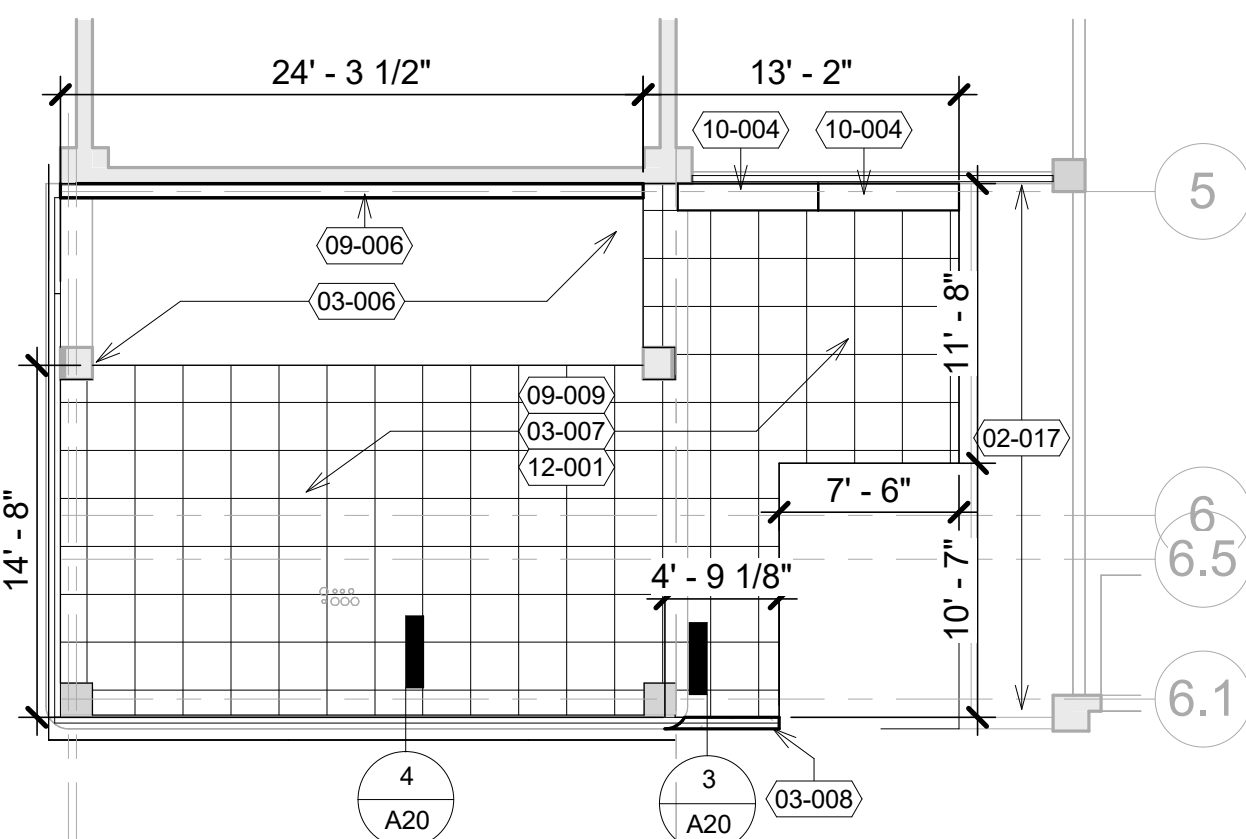
7 FURNITURE SCHEDULE
A15 NTS

Key Value	Keynote Text	Key Value	Keynote Text
02-013	DEMOLISH EXISTING CHAIN-LINK FENCING & BACKING TARP.	09-005	INTALL NEW WOOD GRILL SUSPENDE CEILING SYSTEM. BOD 9WOOD 1100 SERIES - TEAK FINISH.
02-014	DEMOLISH EXISTING PLASTER SOFFIT	09-006	FUR OUT WALL WITH NEW 6" METAL STUD ASSEMBLY TO UNDERSIDE OF DECK. DENS GLAS ON METAL STUD W/ EFS ACRYLIC PLASTER COAT. REFER TO VIEW 2/A92 FOR EXISTING CONDITION
02-015	DEMOLISH EXISTING CEILING MOUNTED PACK-LIGHTS	09-009	PREP, PRIME & PAINT ALL INTERIOR CONCRETE WALLS
02-016	DEMOLISH EXISTING LIGHT FIXTURES IN CEILING ABOVE. PREP EXISTING CONDUIT AND JUNCTION BOXES FOR REROUTING AND INSTALLATION OF NEW FIXTURES.	10-004	ELEVATED DECK SYSTEMS ALUMINUM PLANTER CUBE; 24" X 72"
02-017	EXISTING PLANTER TO REMAIN	12-001	PROVIDE & INSTALL FURNITURE PER SCHEDULE QUANTITIES; FINAL LOCATIONS TBD
03-005	INFILL PIPE PENETRATIONS W/ CONCRETE FILLER SLURRY. TROWEL AND LEVEL OFF SURFACE TO MATCH THAT OF SURROUNDING CONCRETE.	26-002	INSTALL NEW COMMERCIAL-GRADE RECESSED STRIP LED LIGHTING FIXTURES W/ ALUMINUM HOUSING & SST CABLE. DAMP RATED. 3" X 8" EACH. SLOT WITHIN CEILING GRILLE FLUSH WITH BOTTOM; CONNECT TO EXISTING POWER; NEW J-BOXES AND CONDUIT AS REQ.
03-006	COAT SURFACE W/ NEW 1 1/2" CONCRETE FINISH LAYER WASH.	26-003	INSTALL NEW CEILING FAN; 52" DAMP RATED W/ 20" DOWNROD. INTERFACE BOTH FANS WITH NEW SURFACE MOUNTED WALL CONTROL SYSTEM. BOD: BAF HAIKU OUTDOOR FAN, COLOR - BLACK
03-007	INSTALL NEW RAISED EXTERIOR PAVR SYSTEM. BOD BISON 2CM 2 X 2 PAVERS ON ADJUSTABLE PEDESTALS. CONCRETE FINISH; PROVIDE 10% OVERAGE COLOR: TBD		
03-008	INSTALL NEW 6" PRECAST CONCRETE CURB		

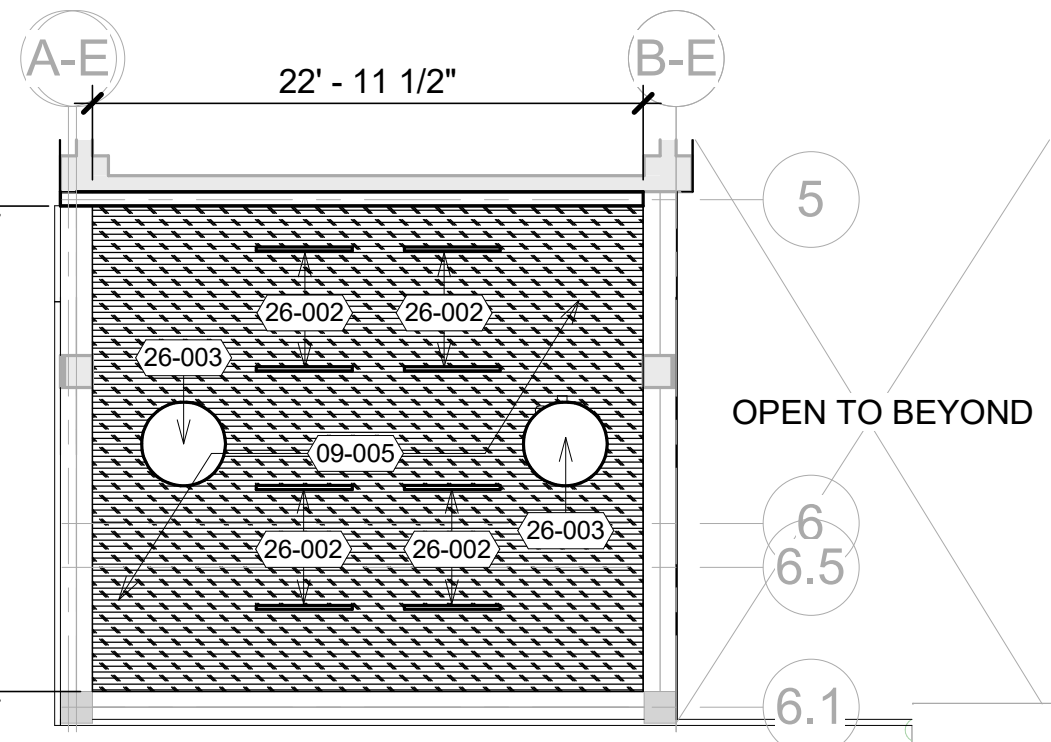
ENHANCEMENT PLANS LEGEND		PERFERATED METAL PANEL LEGEND	
	AREA TO BE DEMOLISHED		NEW WOOD GRILL CEILING ASSEMBLY
	(E) CORRIGATED METAL SOFFIT		METAL PANEL PATTERN A
	(E) PLASTER SOFFIT		METAL PANEL PATTERN B
	NEW PLASTER SOFFIT		METAL PANEL PATTERN C
	NEW RAISED CONCRETE PAVERS		METAL PANEL PATTERN D
			PANEL BREAK



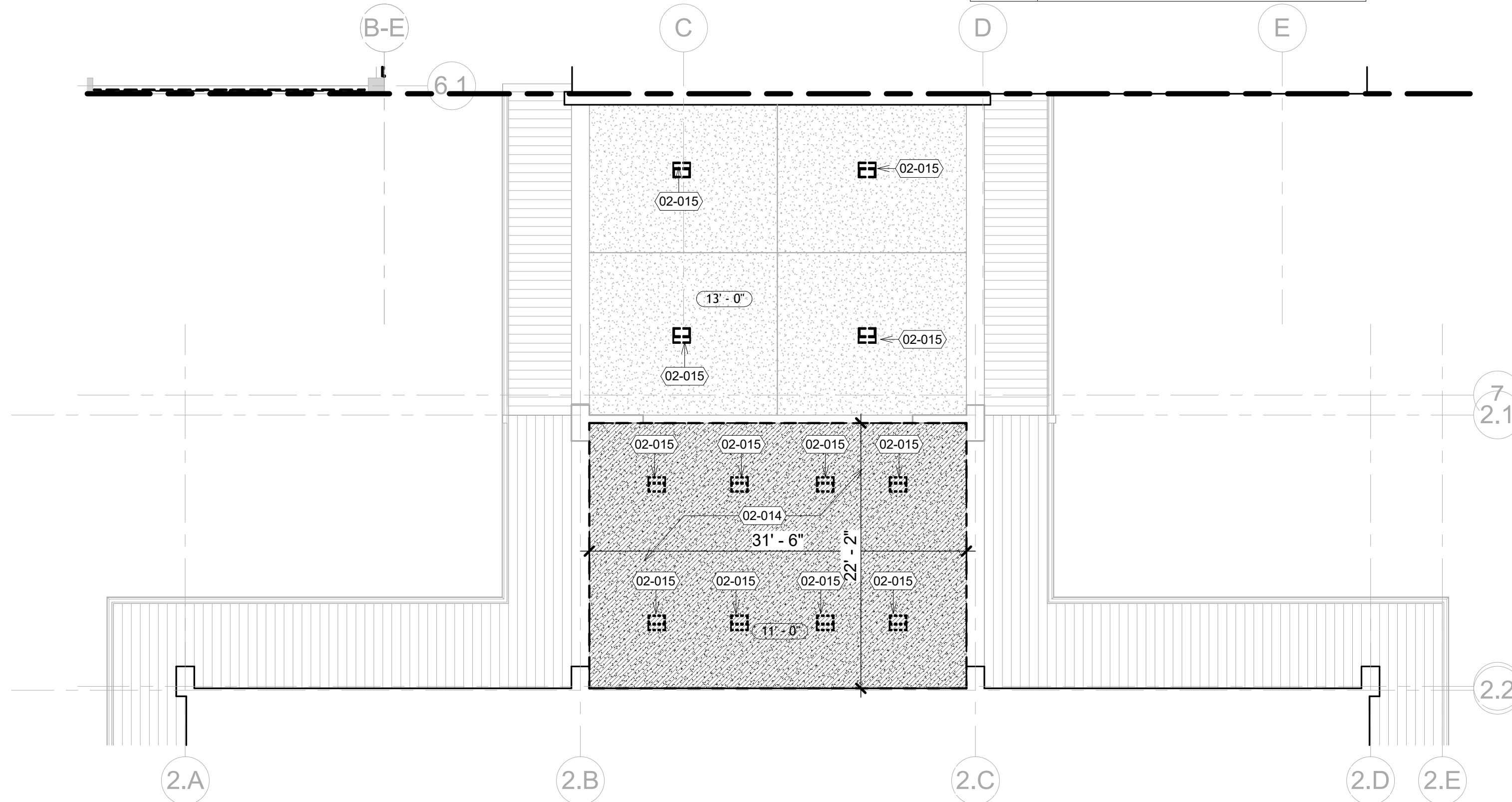
2 WAITING AREA - DEMO PLAN
A15 1/8" = 1'-0"



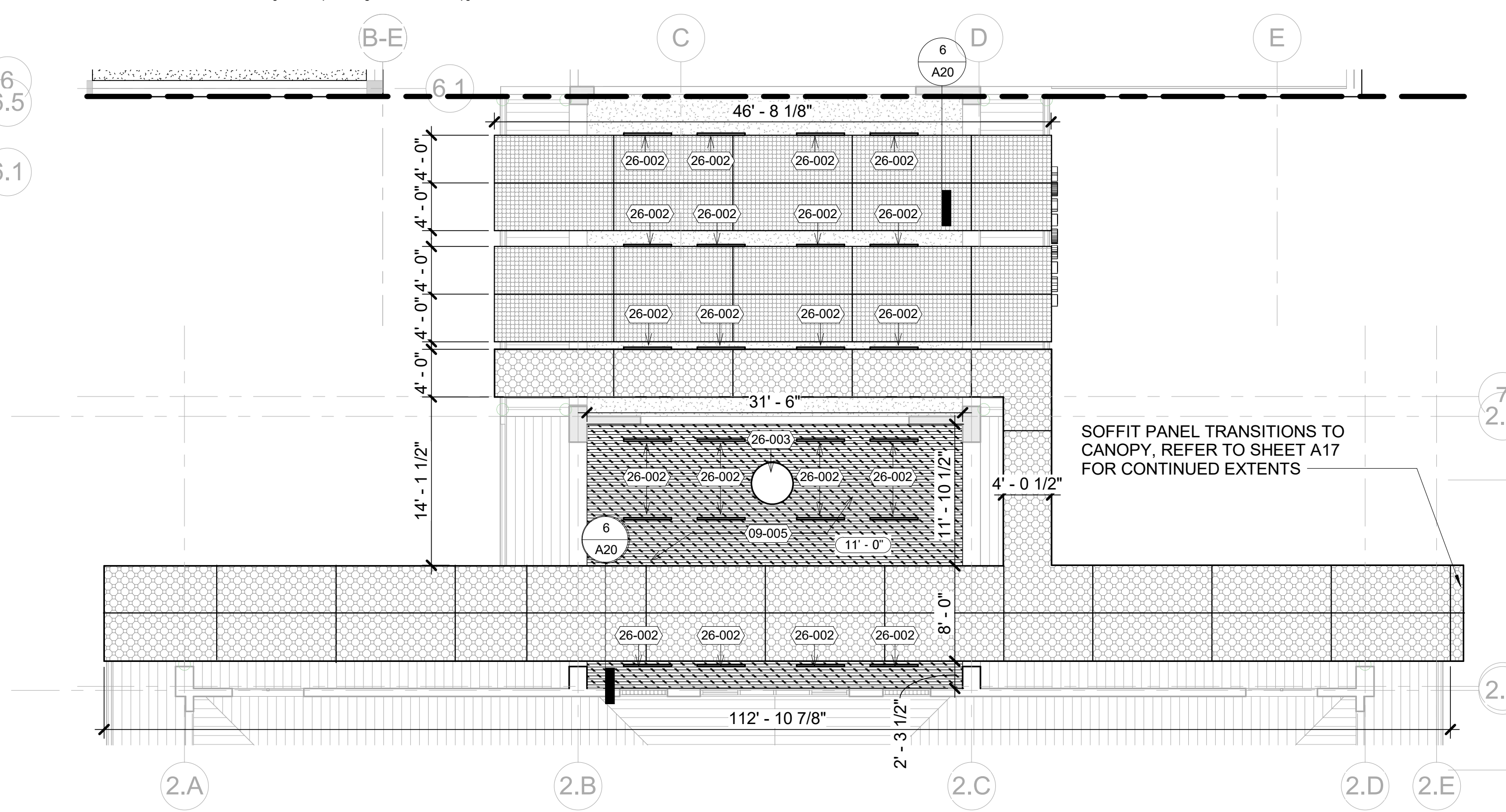
1 WAITING AREA - FLOOR PLAN
A15 1/8" = 1'-0"



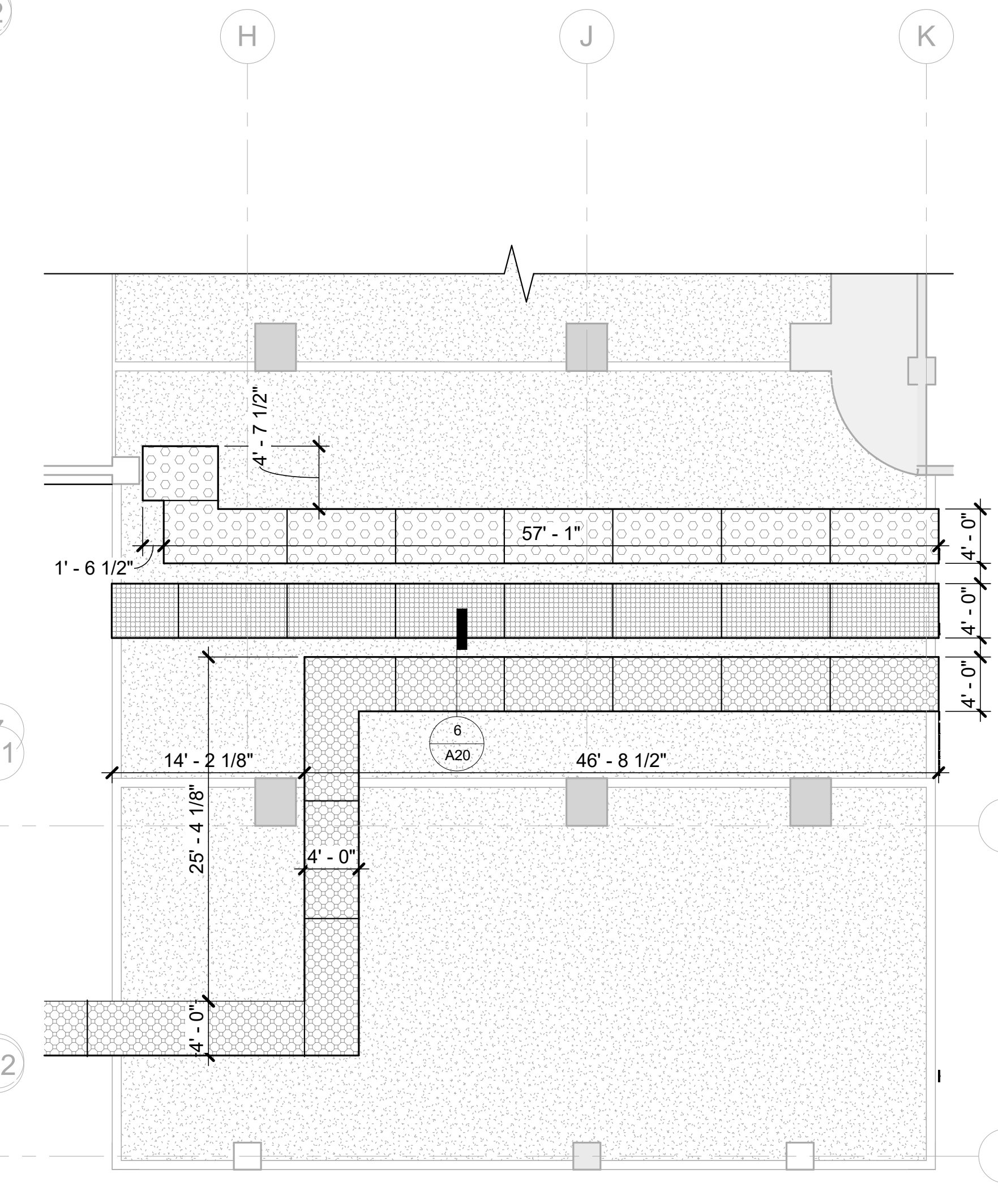
3 WAITING AREA - RCP - NEW
A15 1/8" = 1'-0"



6 ENTRY NEXUS - RCP - DEMO
A15 1/8" = 1'-0"



4 ENTRY NEXUS - RCP - NEW
A15 1/8" = 1'-0"



5 AREA C - AMBULANCE BAY - RCP
A15 1/8" = 1'-0"

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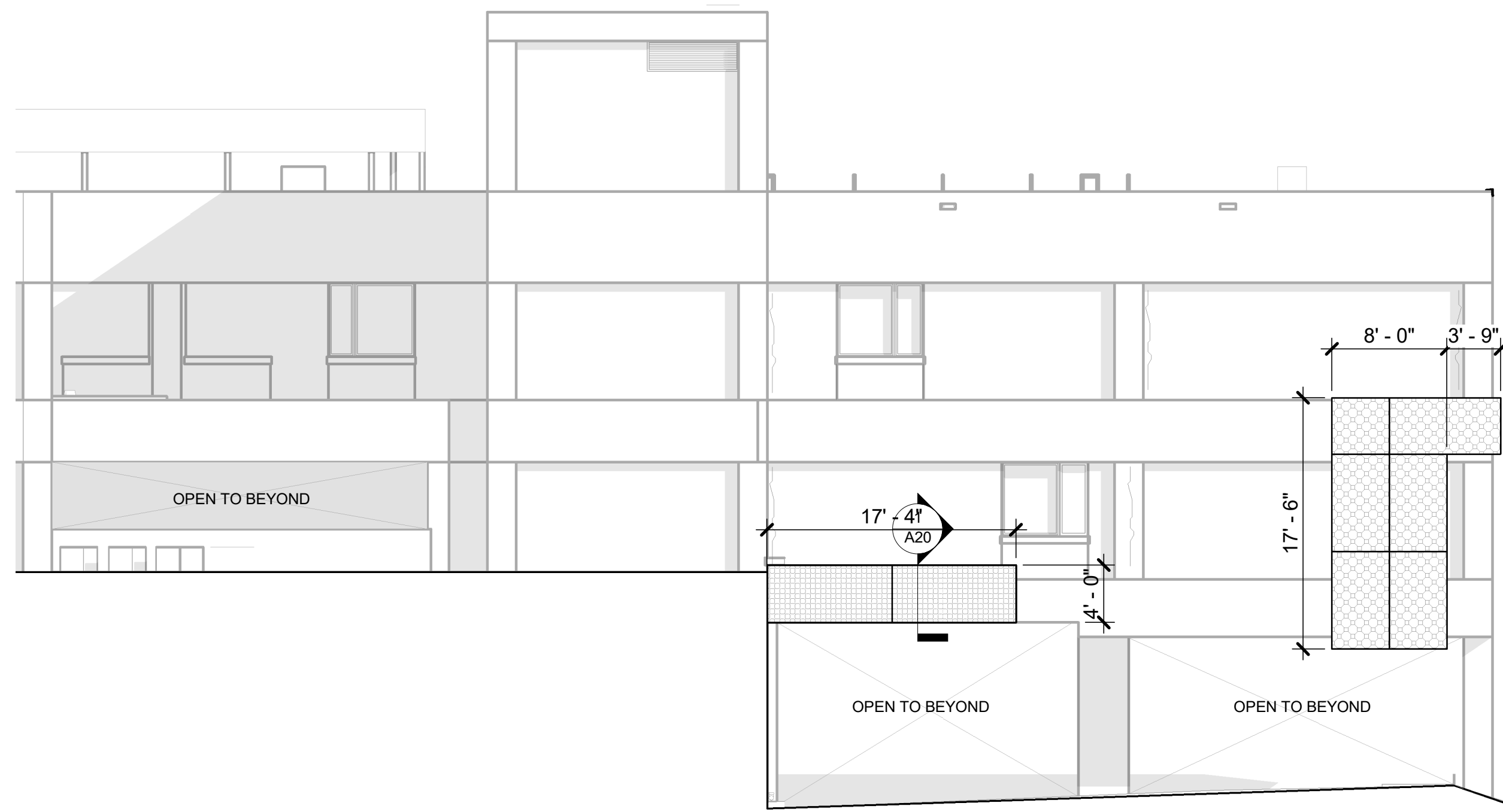
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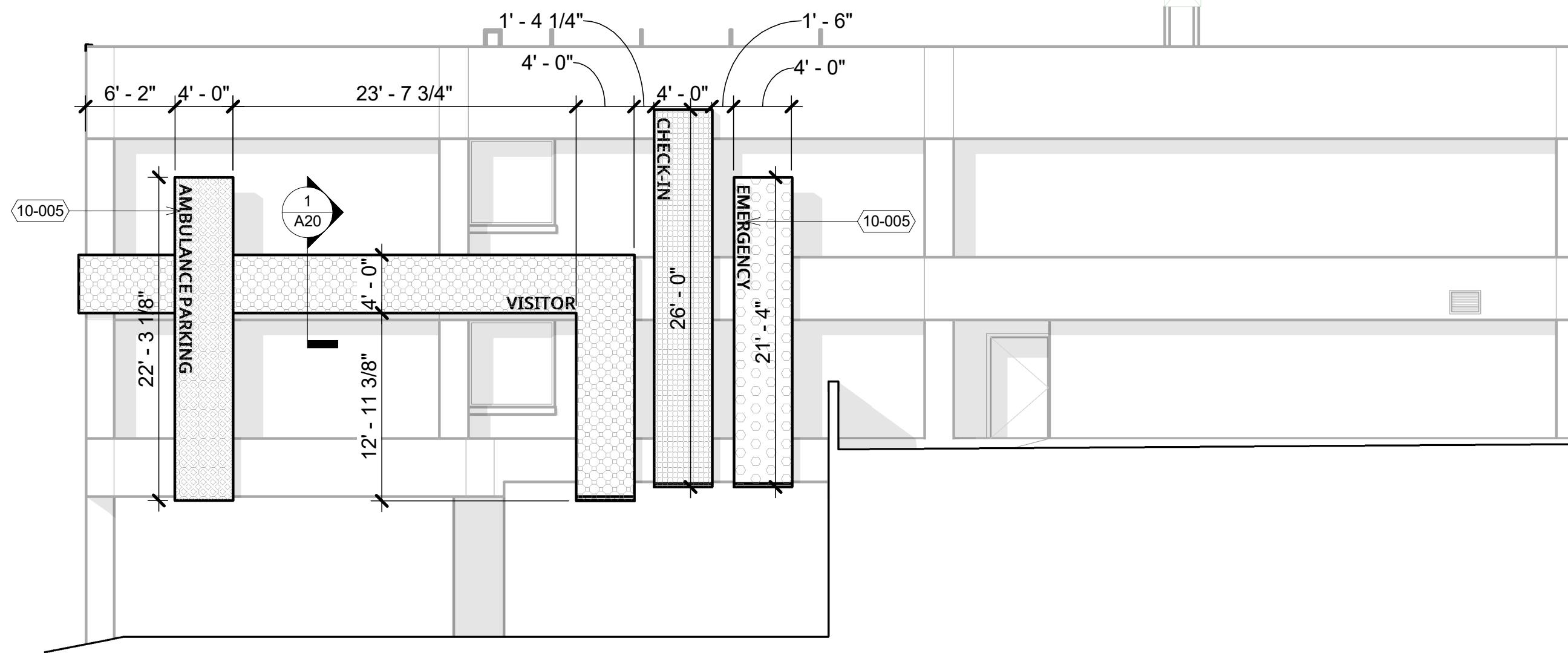
SHEET TITLE:
 ENLARGED PLANS & RCP'S

PROJECT: 2025-040 REVISIONS: 1 ADDENDUM #A2
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 DATE: 03/27/2026
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1 AREA C WEST ELEVATION - METAL PANELS
A16 1/8" = 1'-0"



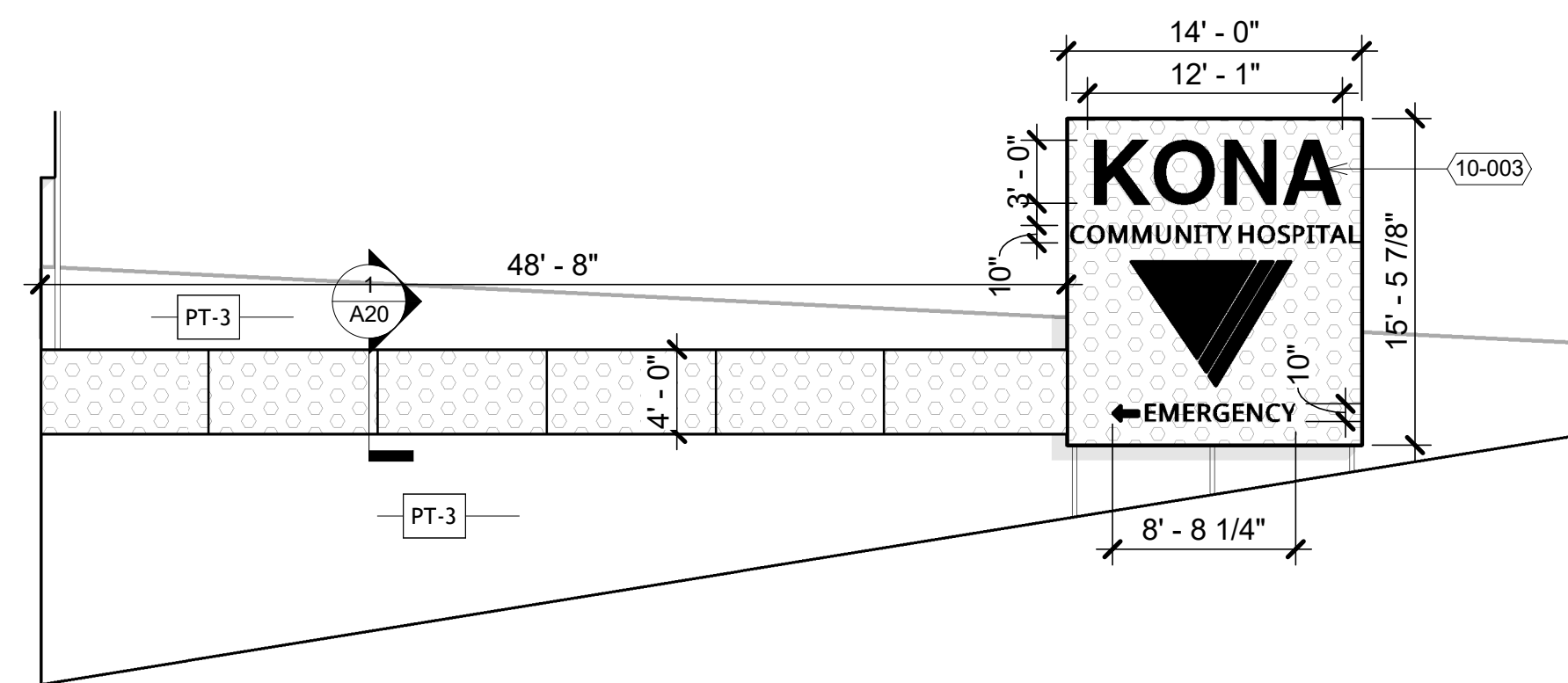
2 AREA C EAST ELEVATION - METAL PANELS
A16 1/8" = 1'-0"

PERFORATED METAL PANEL LEGEND

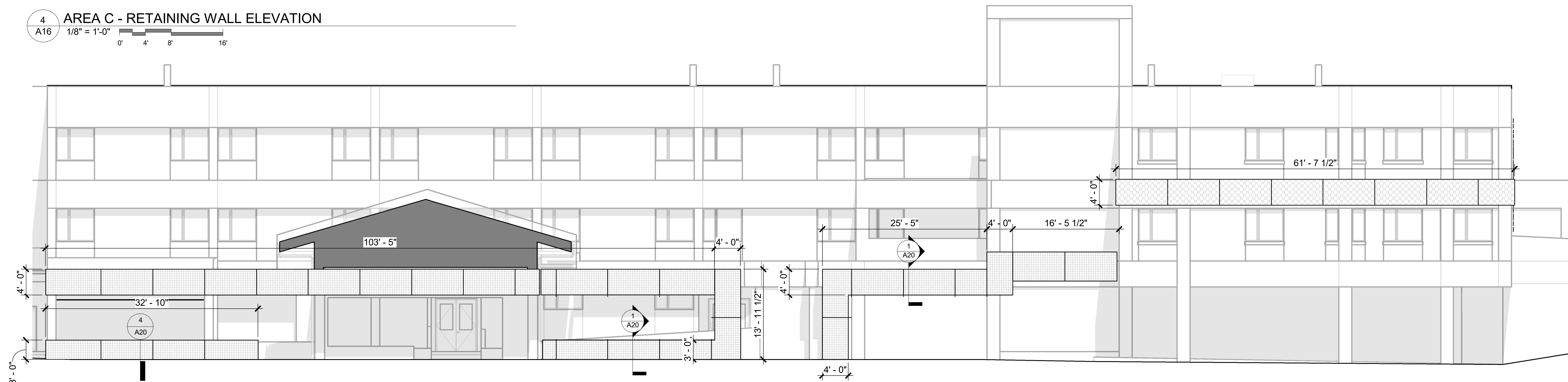
- METAL PANEL PATTERN A
- METAL PANEL PATTERN B
- METAL PANEL PATTERN C
- METAL PANEL PATTERN D
- PANEL BREAK

Key Value	Keynote Text
10-003	3/4" THICK CUT ALUMINUM LETTERS W/ TWO-PART EPOXY COATING. TYPEFACE: GOTHAM; MOUNTING: PIN MOUNTED 3/4" FROM EXTERIOR FACE
10-005	3/4" THICK CUT ALUMINUM LETTERS W/ TWO-PART EPOXY COATING. TYPEFACE: GOTHAM; MOUNTING: SURFACE MOUNTED ON EXTERIOR FACE

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4 AREA C - RETAINING WALL ELEVATION
A16 1/8" = 1'-0"



3 AREA B & C SOUTH ELEVATION - METAL PANELS
A16 1/8" = 1'-0"

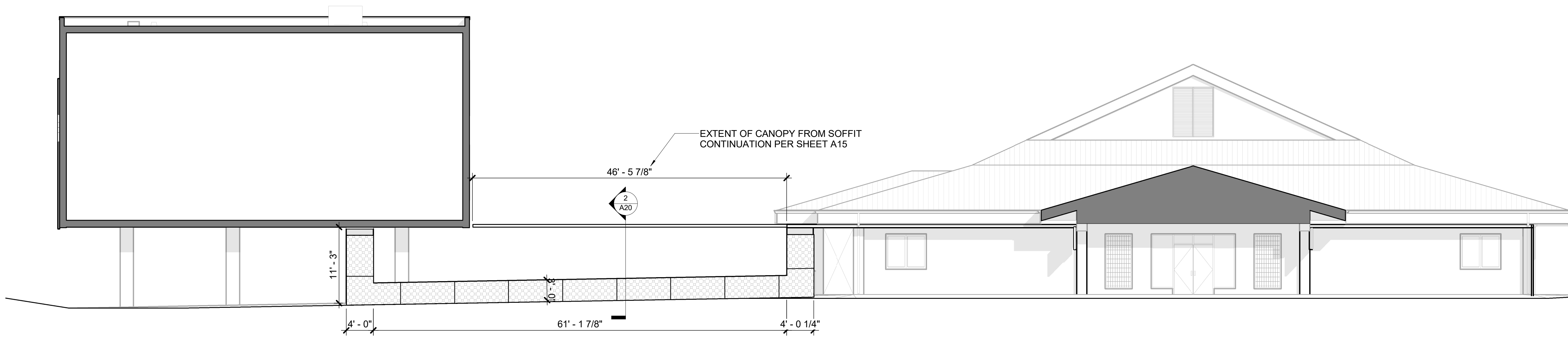
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SHEET TITLE:
BUILDING ELEVATIONS - ENHANCEMENTS

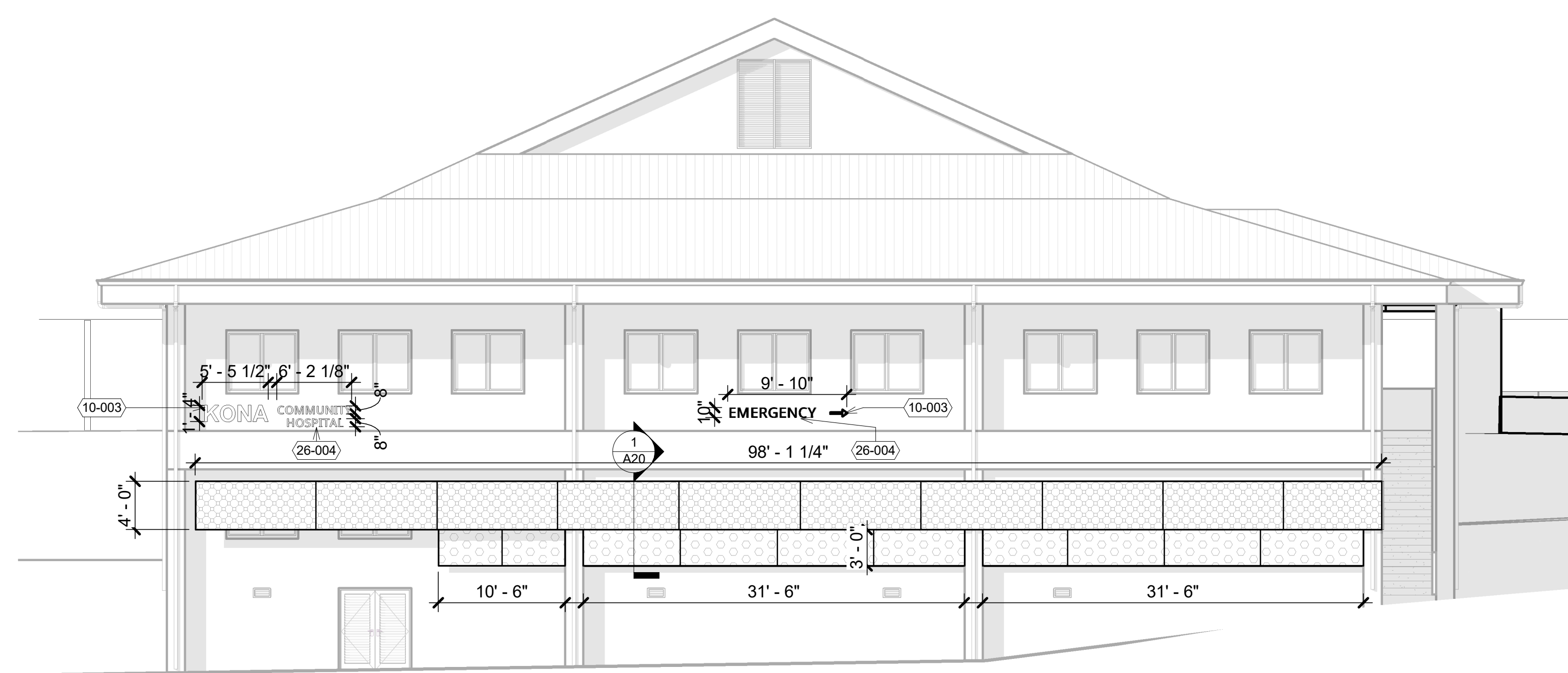
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DRAWN BY: Author	ADDENDUM #A2
DATE: 03/27/2026	4/27/2026
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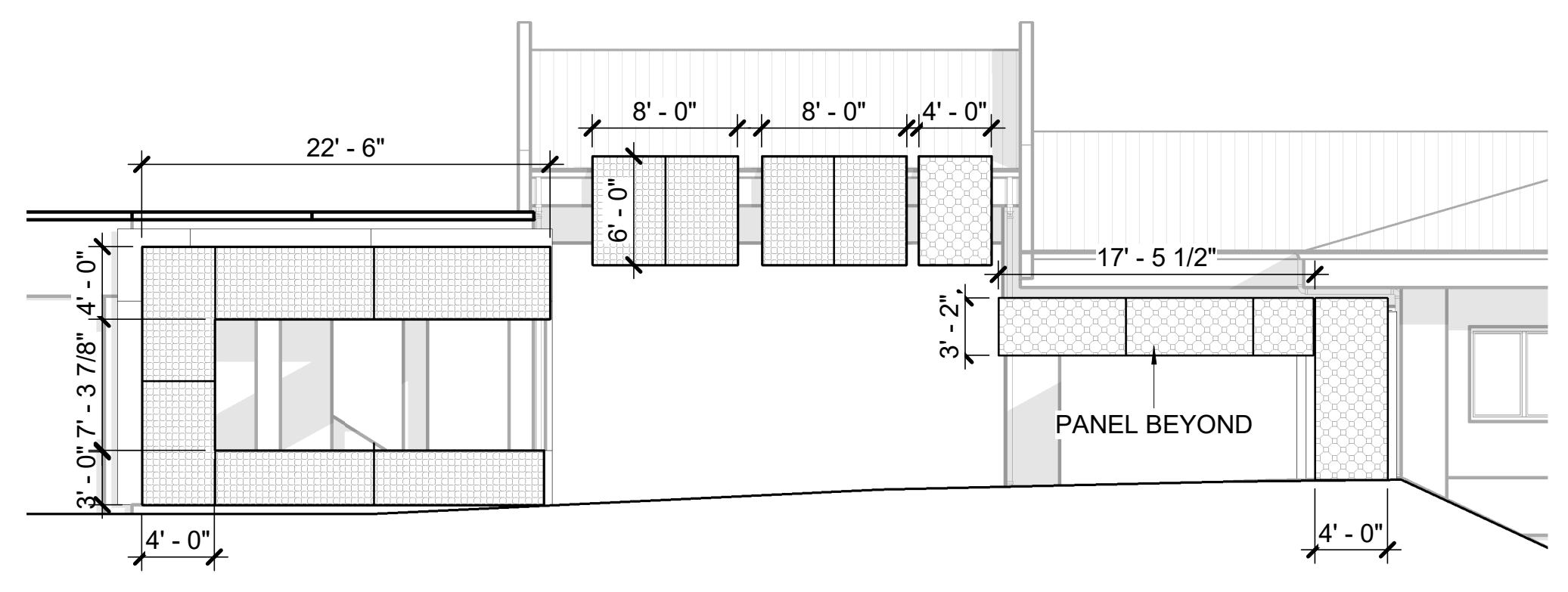


3 AREA D NORTH ELEVATION Copy 1
 A17 1/8" = 1'-0"
 0' 4' 8' 16'

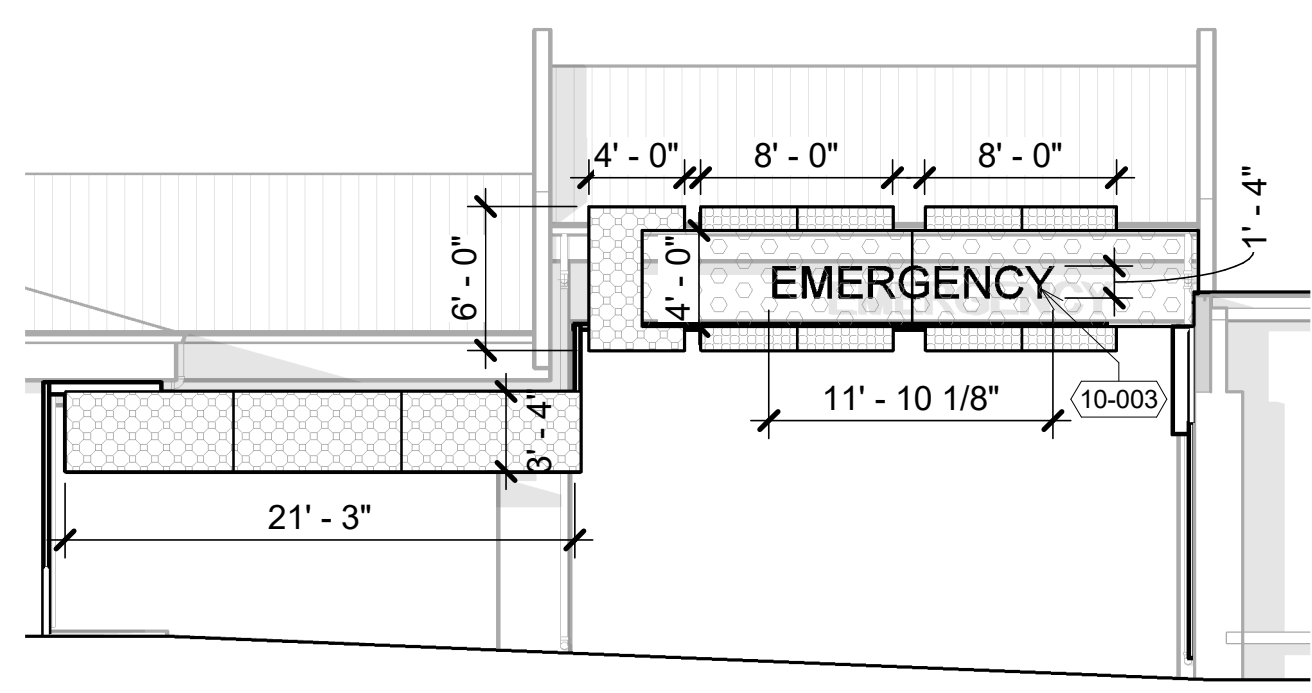
PERFORATED METAL PANEL LEGEND	
	METAL PANEL PATTERN A
	METAL PANEL PATTERN B
	METAL PANEL PATTERN C
	METAL PANEL PATTERN D
	PANEL BREAK
Key Value	Keynote Text
10-003	3/4" THICK CUT ALUMINUM LETTERS W/ TWO-PART EPOXY COATING. TYPEFACE: GOTHAM; MOUNTING: PIN MOUNTED 3/4" FROM EXTERIOR FACE
26-004	INSTALL NEW EXTERIOR LINEAR LED WET-RATED UPLIGHTING FIXTURES. PROVIDE NEW ELECTRICAL CONDUIT & J-BOXES AS NEEDED. PROVIDE NEW TIMER CONTROLS.



4 AREA D SOUTH ELEVATION - METAL PANELS
 A17 1/8" = 1'-0"
 0' 4' 8' 16'



2 AREA D WEST ELEVATION - METAL PANELS
 A17 1/8" = 1'-0"
 0' 4' 8' 16'



1 AREA D EAST ELEVATION - METAL PANELS
 A17 1/8" = 1'-0"
 0' 4' 8' 16'

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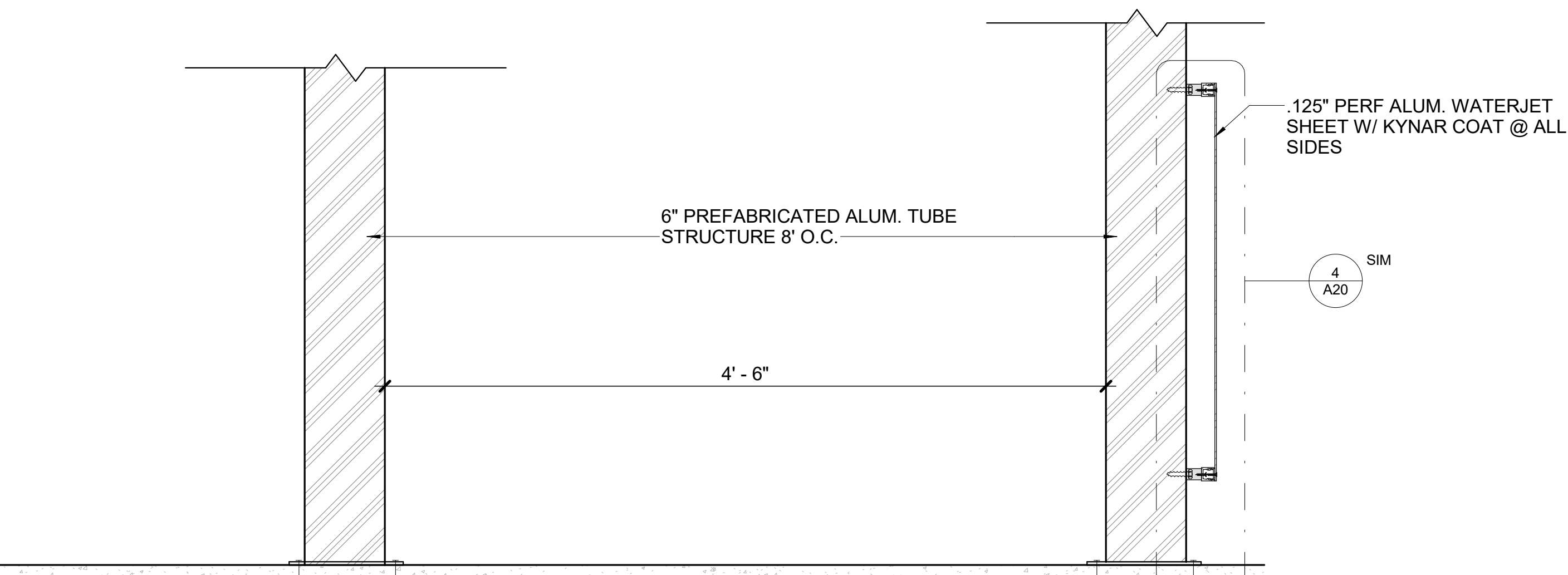
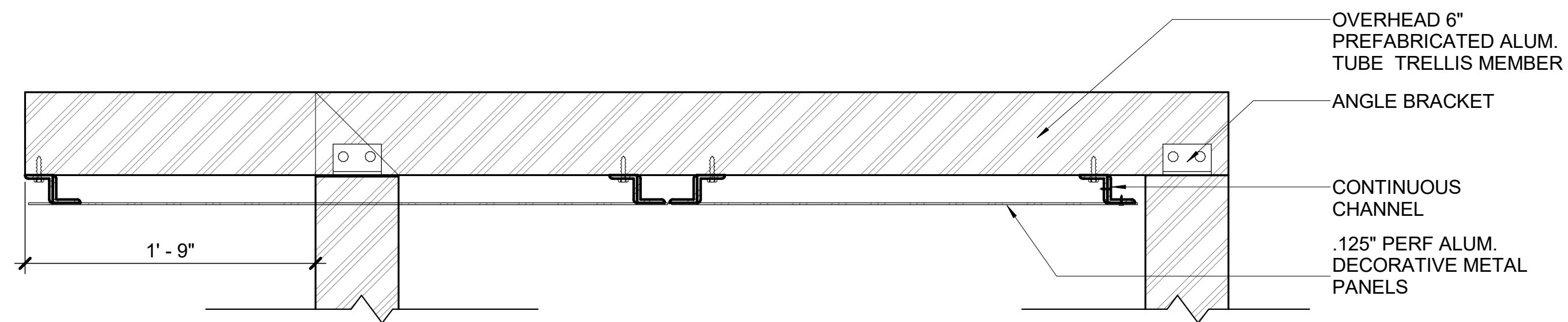
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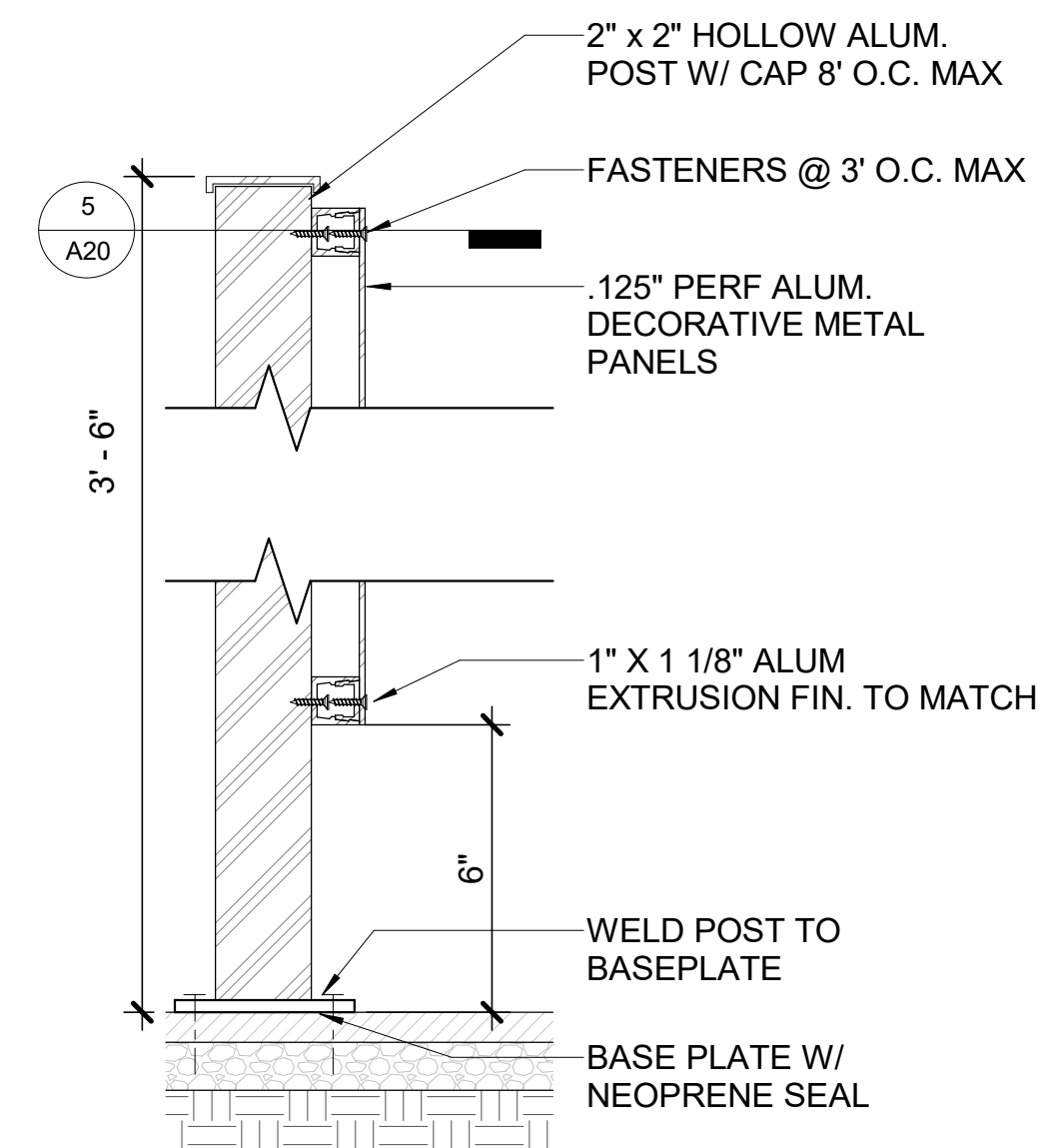
SHEET TITLE:
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DATE:					03/27/2026
SHEET:					A17

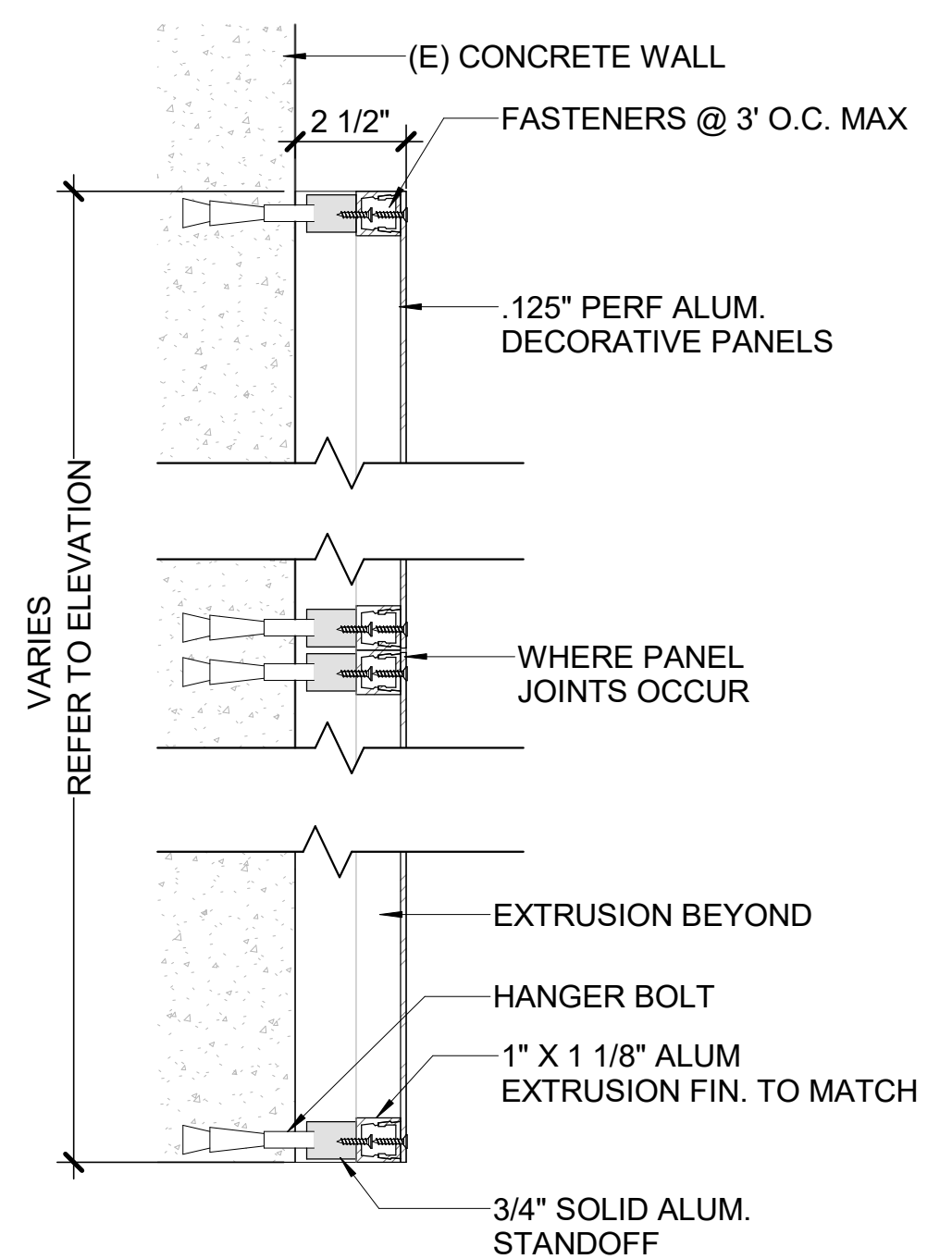
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2 METAL PANEL @ RAILING W/ TRELLIS
 1 1/2" = 1'-0"
 0' 6" 12"

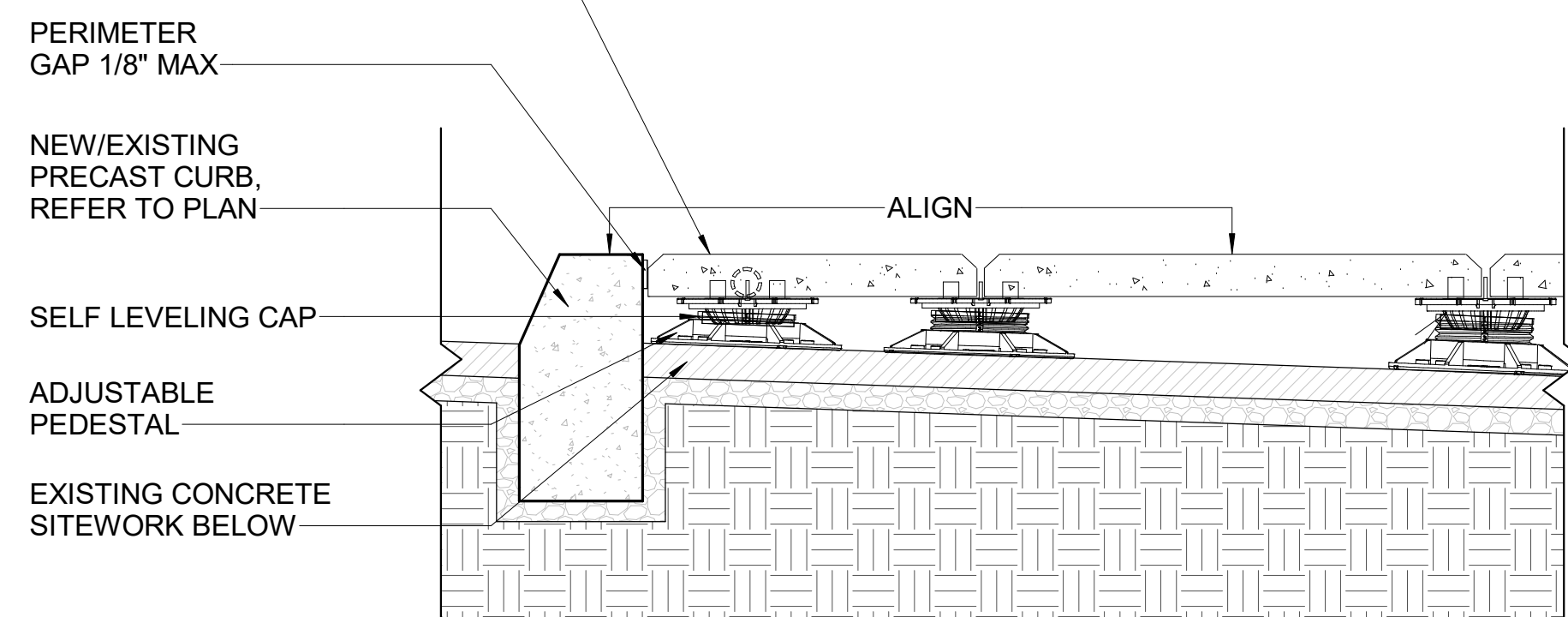


4 METAL PANEL SECTION @ RAILING
 3" = 1'-0"
 0' 3" 6" 12"

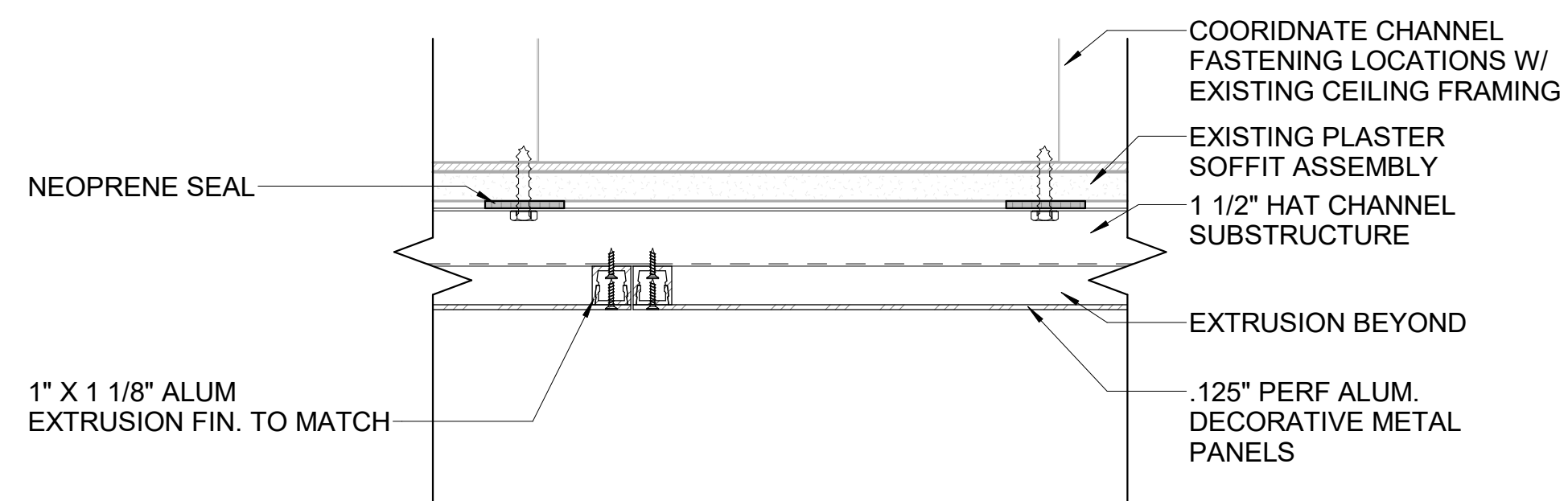


1 METAL PANEL SECTION @ CONCRETE WALL
 3" = 1'-0"
 0' 3" 6" 12"

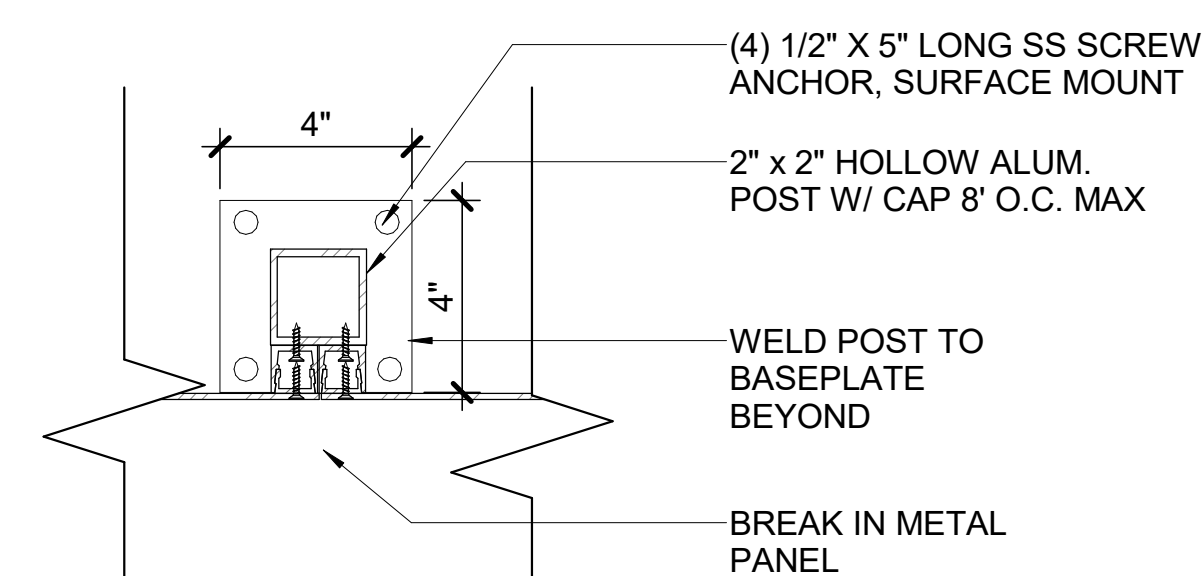
"ELEVATED DECK SYSTEMS"
 - 24x24 BISON 2CM PORCELIN
 PAVERS; CONCRETE FINISH,
 - MOUNTED ON BISON
 ADJUSTABLE PEDESTALS
 WITH FASTENING SPLINE
 - PROVIDE 10% OVERAGE



3 RAISED PAVER @ WAITING AREA
 1 1/2" = 1'-0"
 0' 6" 12"

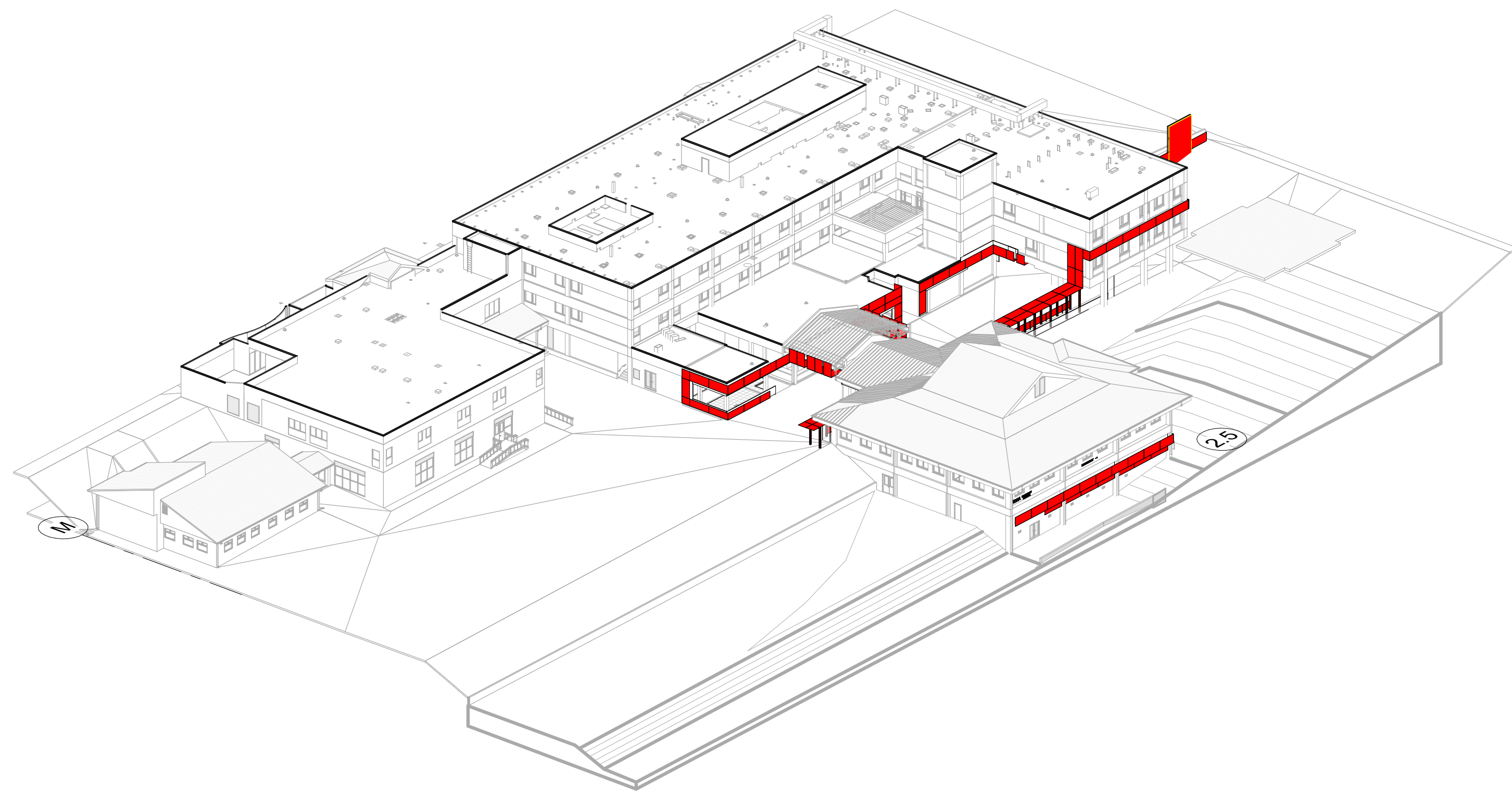


6 METAL PANEL @ SOFFIT
 3" = 1'-0"
 0' 3" 6" 12"

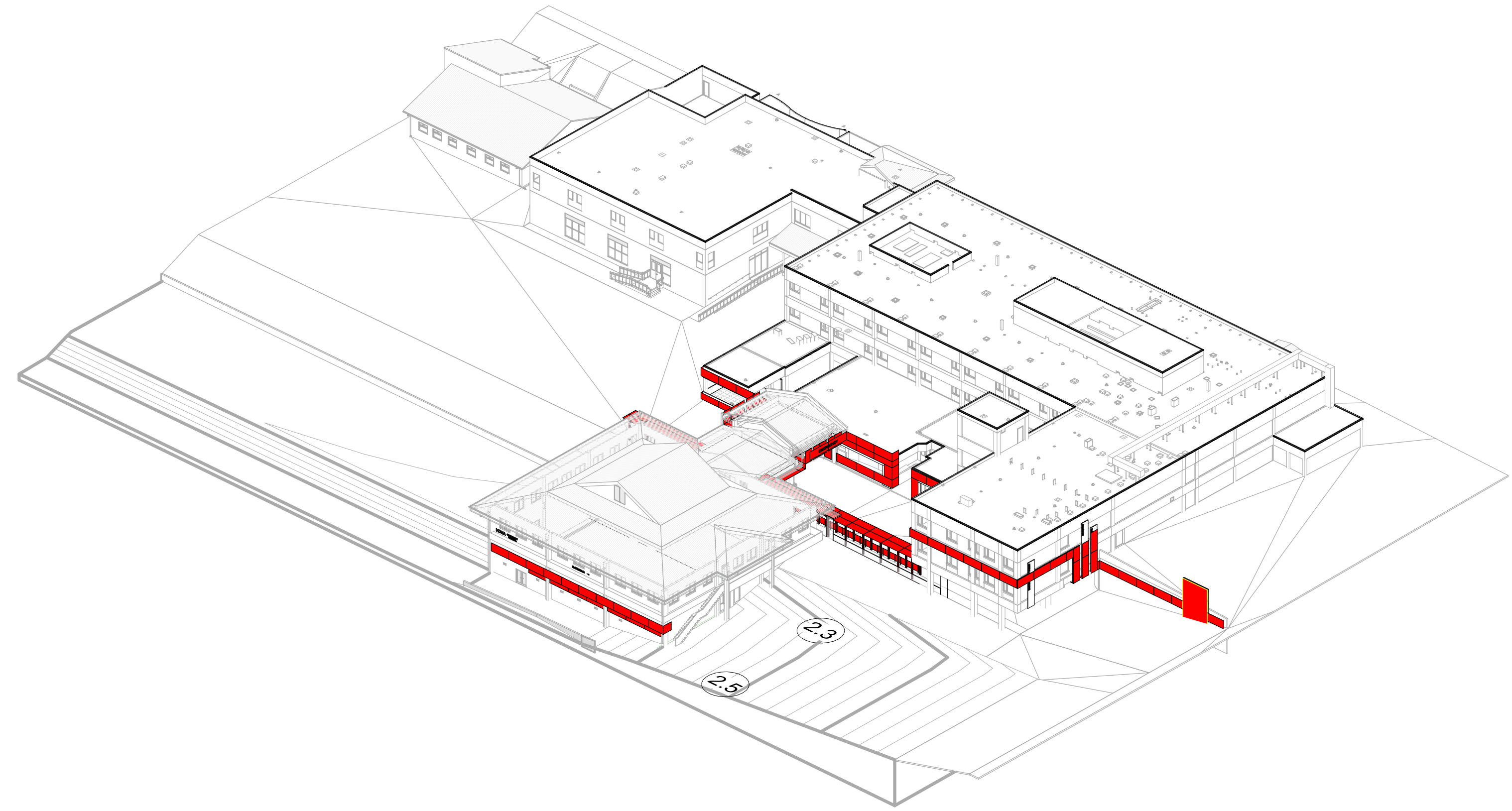


5 METAL PANEL PLAN DETAIL @ RAILING
 3" = 1'-0"
 0' 3" 6" 12"

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1 METAL PANEL EXTENTS AXON - SOUTH EAST
A22



2 METAL PANEL EXTENTS AXON - NORTH EAST
A22

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SHEET TITLE:
 METAL PANEL EXTENTS

PROJECT:	2025-040	REVISIONS:	
DRAWN BY:	Author	1	ADDENDUM #A2 4/27/2026
DATE:	03/27/2026		
SHEET:			

A22



1 PHOTO REF - AREA B SOUTH ELEVATION I
A90 NTS



2 PHOTO REF - AREA B SOUTH ELEVATION II
A90 NTS



3 PHOTO REF - AREA C SOUTH ELEVATION
A90 NTS



4 PHOTO REF - EAST ELEVATION
A90 NTS



5 PHOTO REF - AREA B NORTH ELEVATION
A90 NTS



6 PHOTO REF - AREA A SOUTH ELEVATION I
A90 NTS



7 PHOTO REF - AREA B WEST ELEVATION
A90 NTS



8 PHOTO REF - AREA C WEST ELEVATION
A90 NTS



9 PHOTO REF - AREA A SOUTH ELEVATION II
A90 NTS



10 PHOTO REF - AREA D EAST ELEVATION
A90 NTS



11 PHOTO REF - AREA D EAST AND NORTH ELEVATION
A90 NTS



12 PHOTO REF - AREA D SOUTH ELEVATION
A90 NTS



13 PHOTO REF - AREA A NORTH ELEVATION
A90 NTS



14 PHOTO REF - AREA E NORTH ELEVATION
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15 PHOTO REF - AREA E WEST ELEVATION
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16 PHOTO REF - AREA SOUTH ELEVATION
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PROJECT: 2025-040 REVISIONS:

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SHEET: **A90**

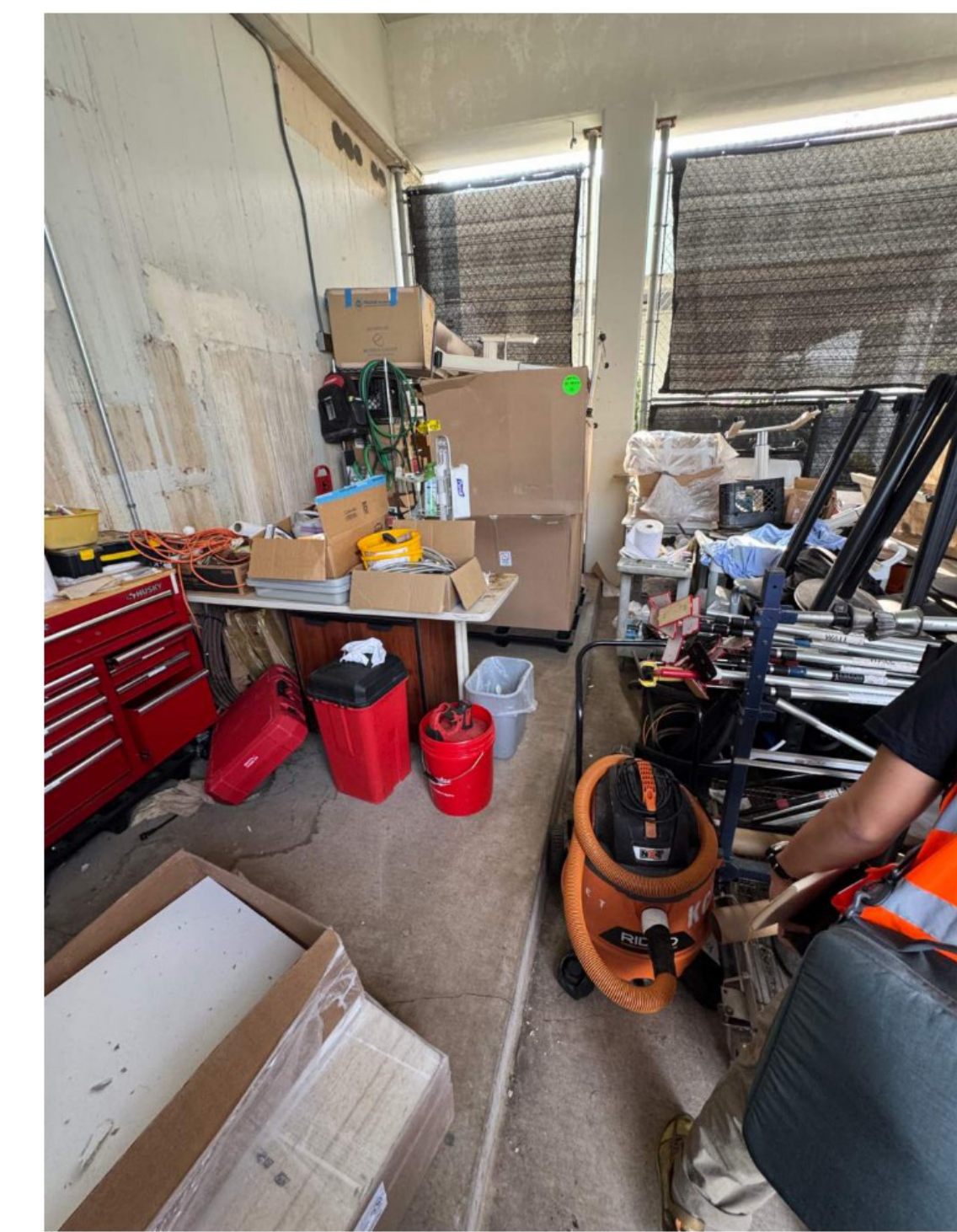
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3 WAITING AREA - PENETRATIONS TO INFILL
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2 WAITING AREA - BACKWALL
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1 WAITING AREA - BACKEND PEDESTAL
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4 WAITING AREA - OVERALL PHOTO
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